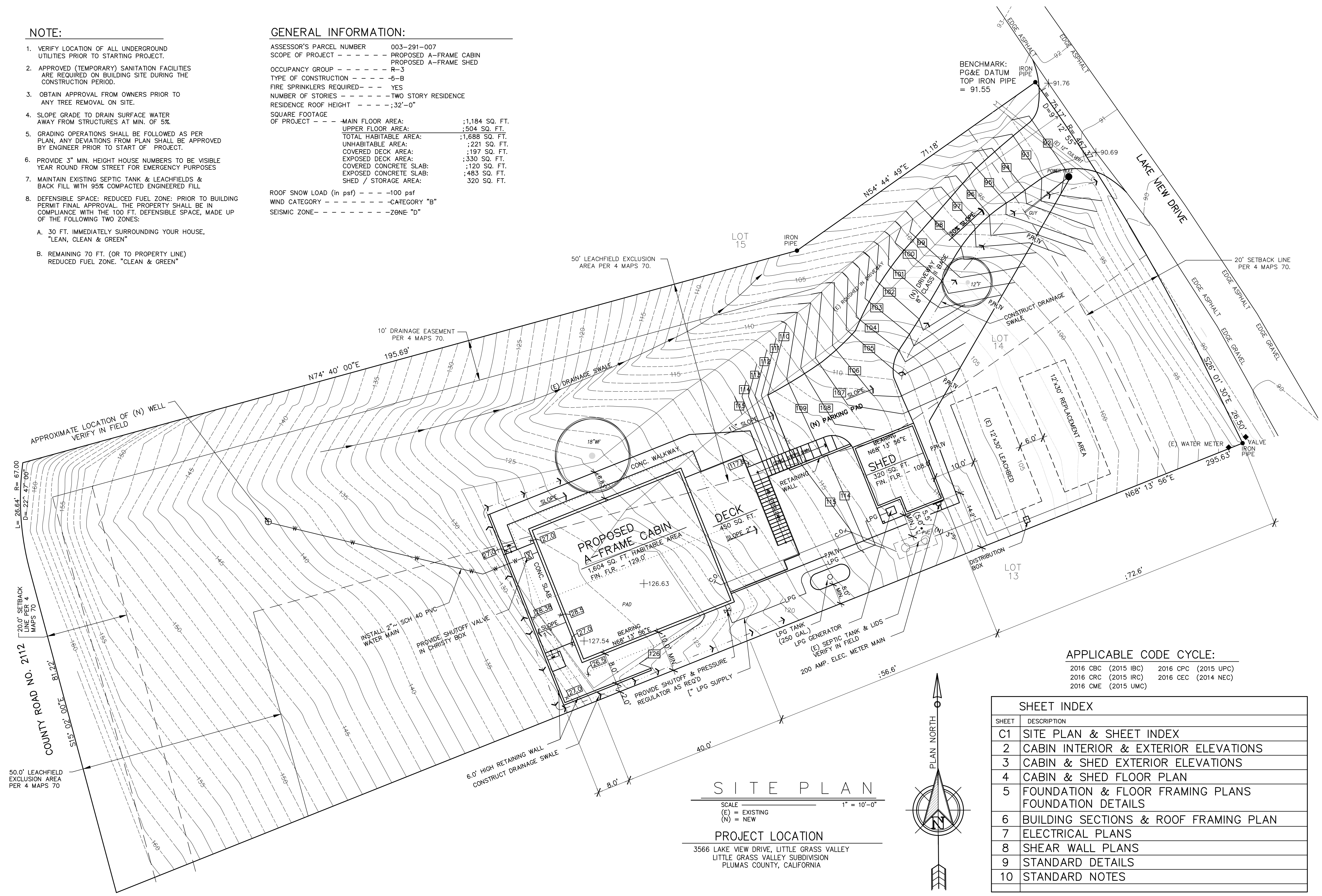


NOTE:

1. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING PROJECT.
2. APPROVED (TEMPORARY) SANITATION FACILITIES ARE REQUIRED ON BUILDING SITE DURING THE CONSTRUCTION PERIOD.
3. OBTAIN APPROVAL FROM OWNERS PRIOR TO ANY TREE REMOVAL ON SITE.
4. SLOPE GRADE TO DRAIN SURFACE WATER AWAY FROM STRUCTURES AT MIN. OF 5%.
5. GRADING OPERATIONS SHALL BE FOLLOWED AS PER PLAN, ANY DEVIATIONS FROM PLAN SHALL BE APPROVED BY ENGINEER PRIOR TO START OF PROJECT.
6. PROVIDE 3" MIN. HEIGHT HOUSE NUMBERS TO BE VISIBLE YEAR ROUND FROM STREET FOR EMERGENCY PURPOSES
7. MAINTAIN EXISTING SEPTIC TANK & LEACHFIELDS & BACK FILL WITH 95% COMPACTED ENGINEERED FILL
8. DEFENSIBLE SPACE: REDUCED FUEL ZONE: PRIOR TO BUILDING PERMIT FINAL APPROVAL. THE PROPERTY SHALL BE IN COMPLIANCE WITH THE 100 FT. DEFENSIBLE SPACE, MADE UP OF THE FOLLOWING TWO ZONES:
 - A. 30 FT. IMMEDIATELY SURROUNDING YOUR HOUSE, "LEAN, CLEAN & GREEN"
 - B. REMAINING 70 FT. (OR TO PROPERTY LINE) REDUCED FUEL ZONE. "CLEAN & GREEN"

GENERAL INFORMATION:

ASSESSOR'S PARCEL NUMBER 003-291-007
 SCOPE OF PROJECT - - - - - PROPOSED A-FRAME CABIN
 PROPOSED A-FRAME SHED
 OCCUPANCY GROUP - - - - - R-3
 TYPE OF CONSTRUCTION - - - - - 5-B
 FIRE SPRINKLERS REQUIRED - - - - - YES
 NUMBER OF STORIES - - - - - TWO STORY RESIDENCE
 RESIDENCE ROOF HEIGHT - - - - - 32'-0"
 SQUARE FOOTAGE OF PROJECT - - - - -
 MAIN FLOOR AREA: ;1,184 SQ. FT.
 UPPER FLOOR AREA: ;504 SQ. FT.
 TOTAL HABITABLE AREA: ;1,688 SQ. FT.
 UNHABITABLE AREA: ;221 SQ. FT.
 COVERED DECK AREA: ;197 SQ. FT.
 EXPOSED DECK AREA: ;330 SQ. FT.
 COVERED CONCRETE SLAB: ;120 SQ. FT.
 EXPOSED CONCRETE SLAB: ;483 SQ. FT.
 SHED / STORAGE AREA: ;320 SQ. FT.
 ROOF SNOW LOAD (in psf) - - - - - 100 psf
 WIND CATEGORY - - - - - CATEGORY "B"
 SEISMIC ZONE - - - - - ZONE "D"



APPLICABLE CODE CYCLE:
 2016 CBC (2015 IBC) 2016 CPC (2015 UPC)
 2016 CRC (2015 IRC) 2016 CEC (2014 NEC)
 2016 CME (2015 UMC)

SHEET INDEX	
SHEET	DESCRIPTION
C1	SITE PLAN & SHEET INDEX
2	CABIN INTERIOR & EXTERIOR ELEVATIONS
3	CABIN & SHED EXTERIOR ELEVATIONS
4	CABIN & SHED FLOOR PLAN
5	FOUNDATION & FLOOR FRAMING PLANS FOUNDATION DETAILS
6	BUILDING SECTIONS & ROOF FRAMING PLAN
7	ELECTRICAL PLANS
8	SHEAR WALL PLANS
9	STANDARD DETAILS
10	STANDARD NOTES

SITE PLAN
 SCALE 1" = 10'-0"
 (E) = EXISTING
 (N) = NEW
PROJECT LOCATION
 3566 LAKE VIEW DRIVE, LITTLE GRASS VALLEY
 LITTLE GRASS VALLEY SUBDIVISION
 PLUMAS COUNTY, CALIFORNIA

Revisions:

Engineer:

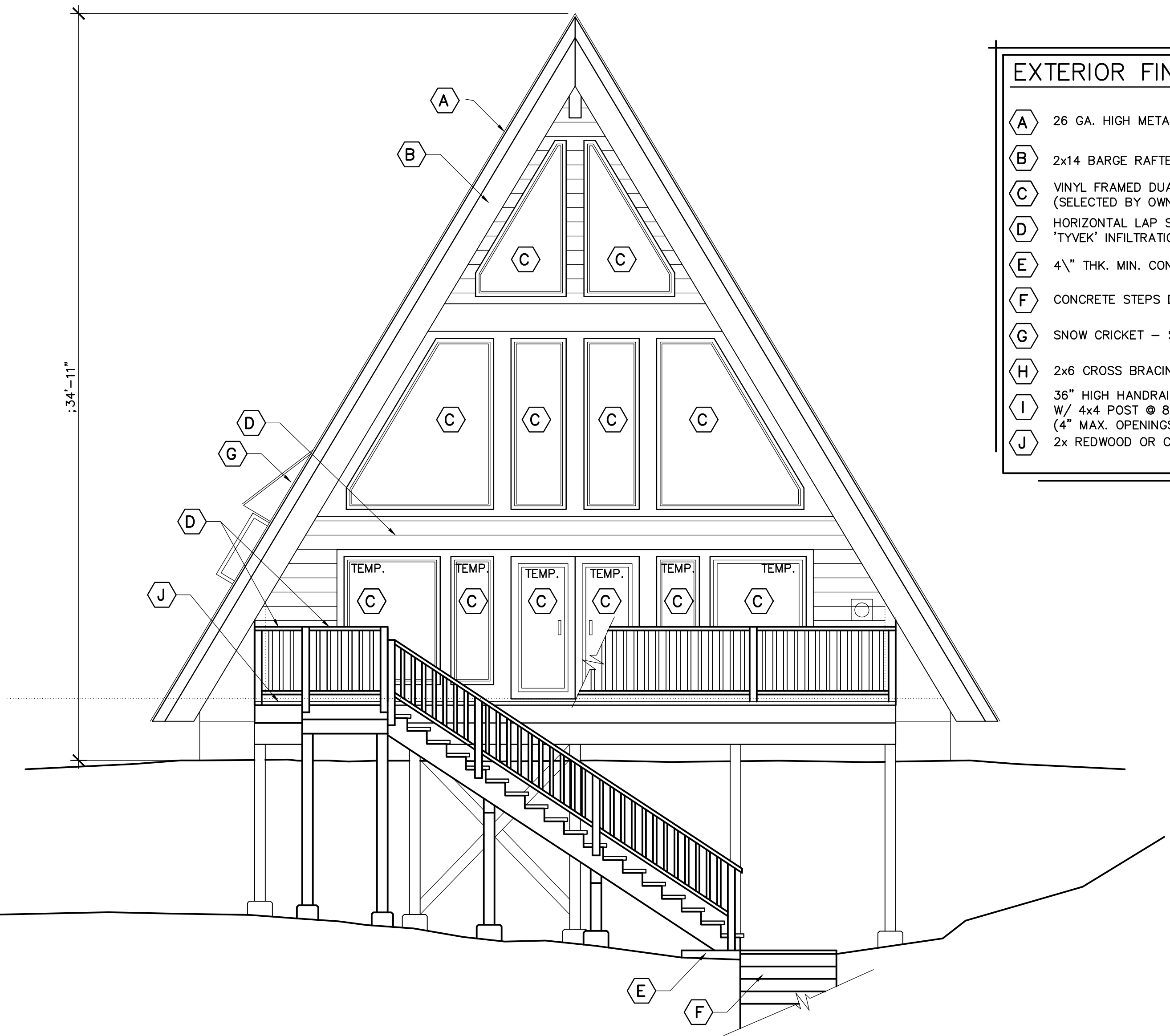
NST ENGINEERING, INC.
 1495 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 257-5173 Fax: (530) 257-6272

Project Title: A.P.N. - 003-291-007
 PROPOSED A-FRAME CABIN for:
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 3566 LAKE VIEW DRIVE, LITTLE GRASS VALLEY
 COUNTY OF PLUMAS, CALIFORNIA

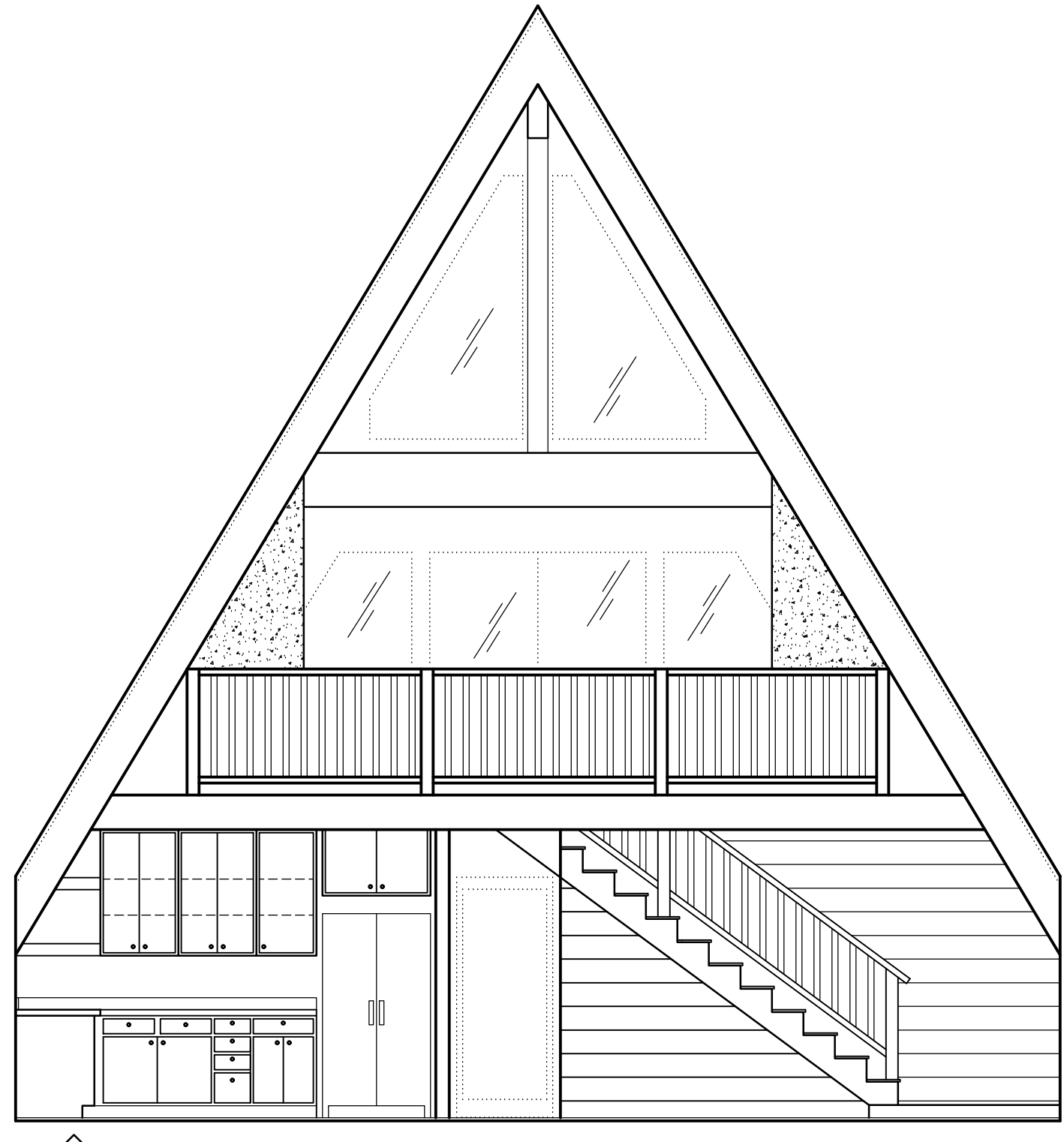
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Sheet No.
C1
 Of 10 Sheets

Job No. 2019-59
 File No. SITE



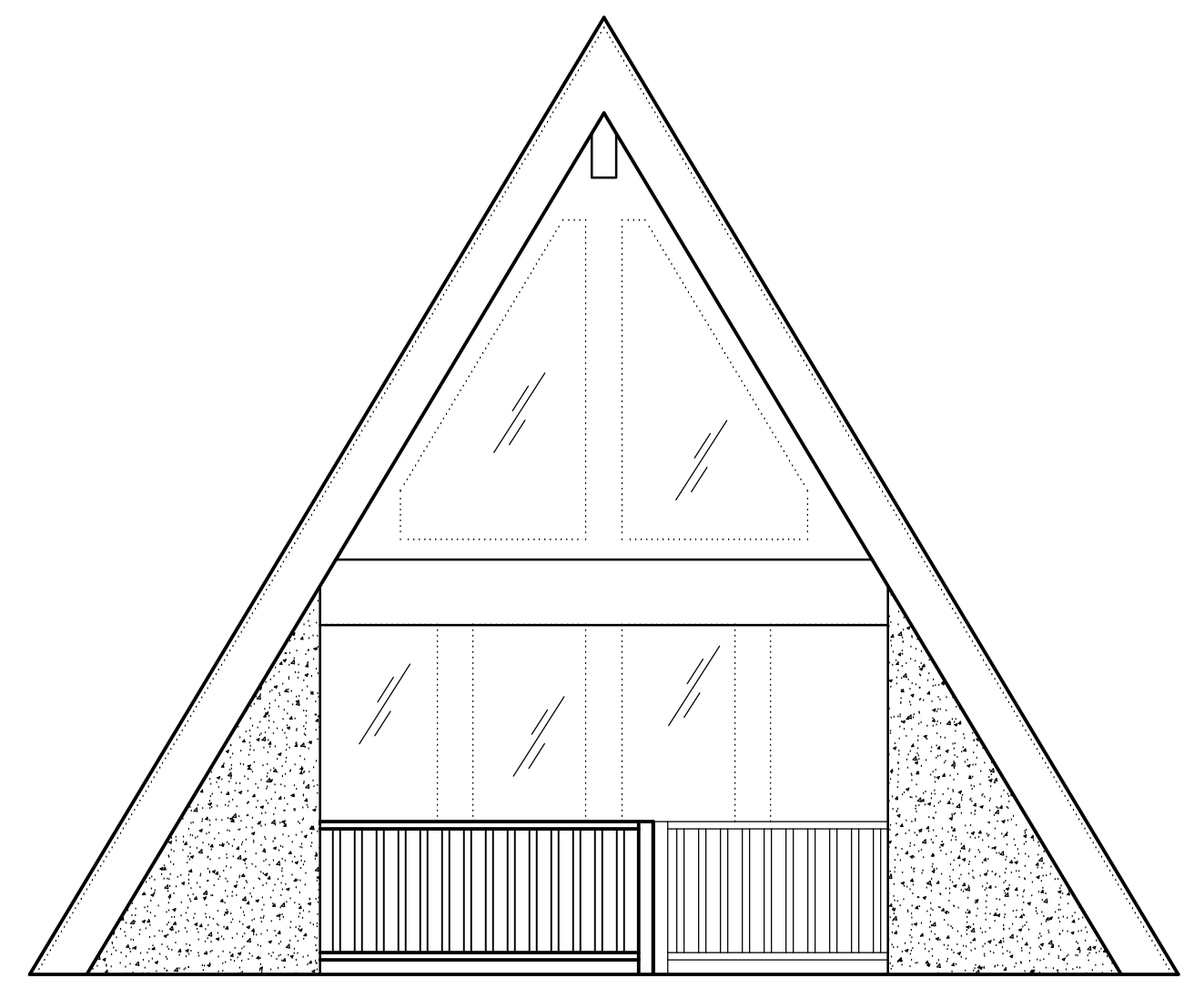
FRONT ELEVATION – east
SCALE : 1/4" = 1'-0"



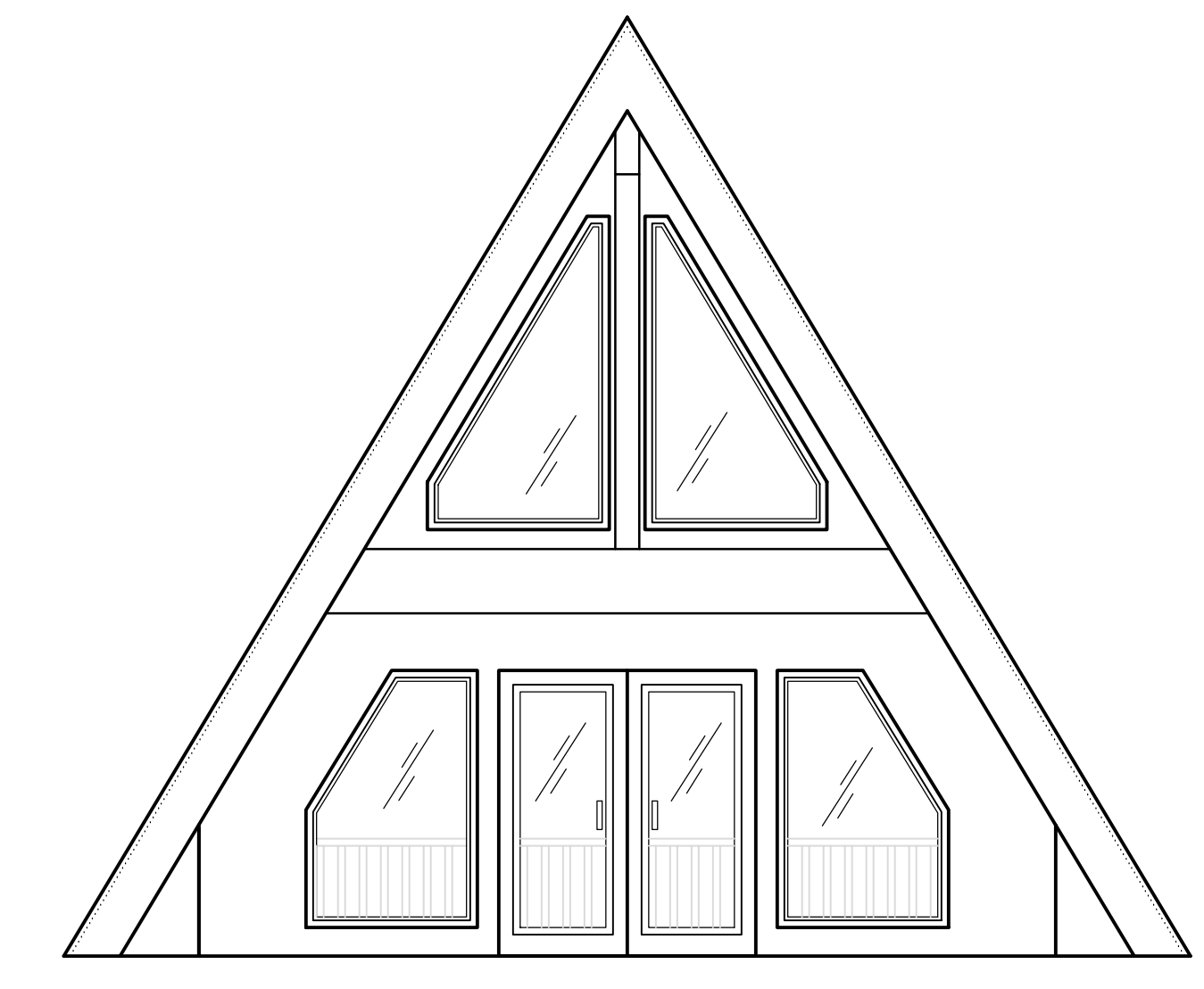
LIVING ROOM & KITCHEN ELEV.



MASTER BEDROOM ELEV.

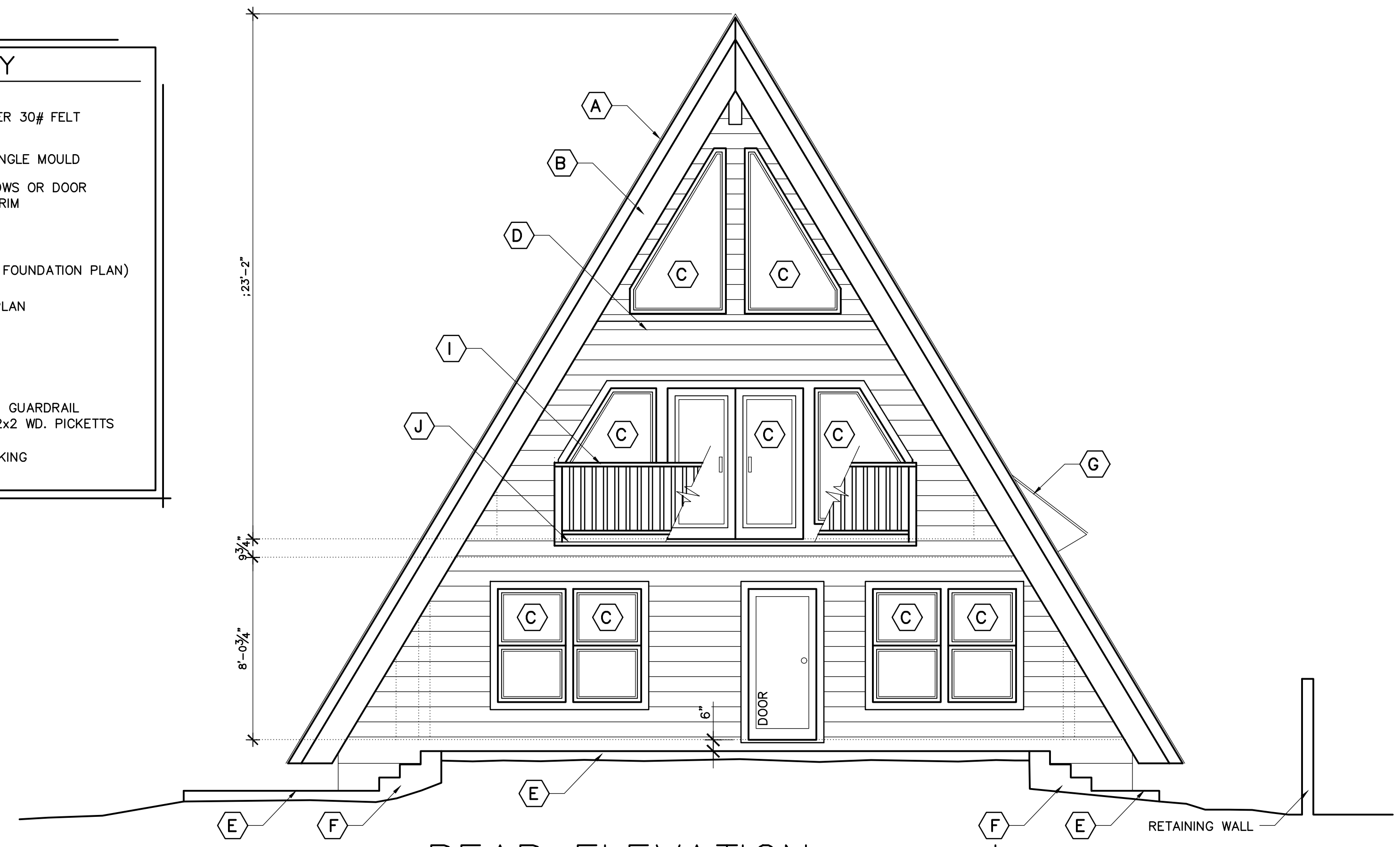


MASTER BEDROOM ELEV.

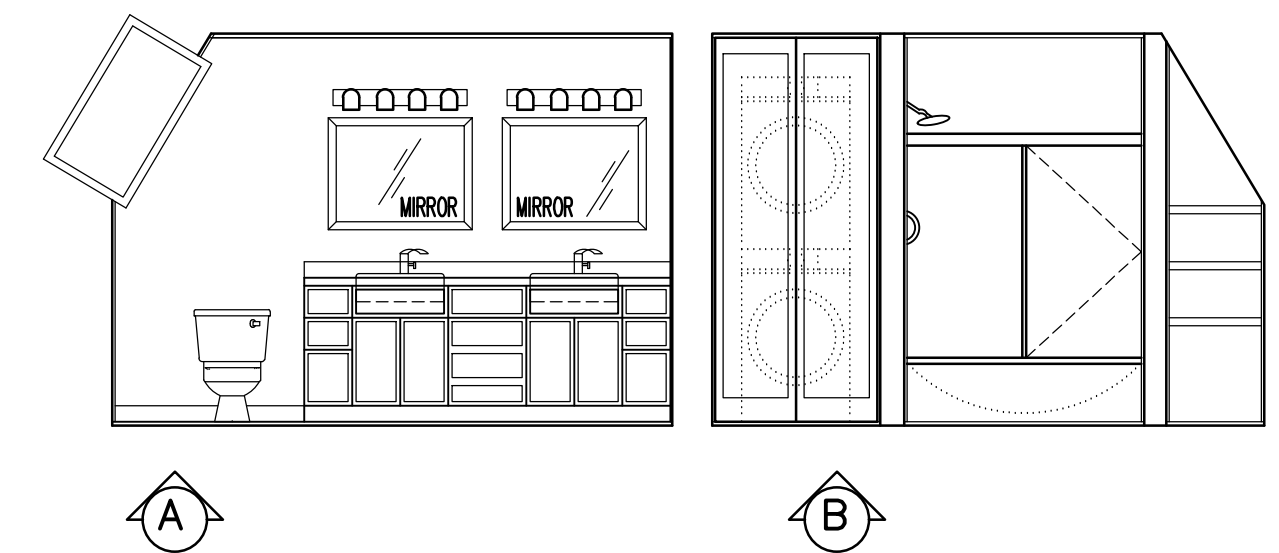


MASTER BEDROOM ELEV.

EXTERIOR FINISH KEY	
(A)	26 GA. HIGH METAL ROOFING OVER 30# FELT
(B)	2x14 BARGE RAFTER W/ 2x6 SHINGLE MOULD
(C)	VINYL FRAMED DUAL PANE WINDOWS OR DOOR (SELECTED BY OWNER) W/ 1x4 TRIM
(D)	HORIZONTAL LAP SIDING OVER 'TYVEK' INFILTRATION BARRIER
(E)	4" THK. MIN. CONC. SLAB (SEE FOUNDATION PLAN)
(F)	CONCRETE STEPS DOWN – SEE PLAN
(G)	SNOW CRICKET – SEE PLAN
(H)	2x6 CROSS BRACING
(I)	36" HIGH HANDRAIL OR 42" HIGH GUARDRAIL W/ 4x4 POST @ 8'-0" MAX. & 2x2 WD. PICKETS (4" MAX. OPENINGS)
(J)	2x REDWOOD OR COMPOSITE DECKING



REAR ELEVATION – west
SCALE : 1/4" = 1'-0"



BATHROOM ELEV.

Revisions:	SB 1/29/2020	CLIENT REVISIONS

Engineer:

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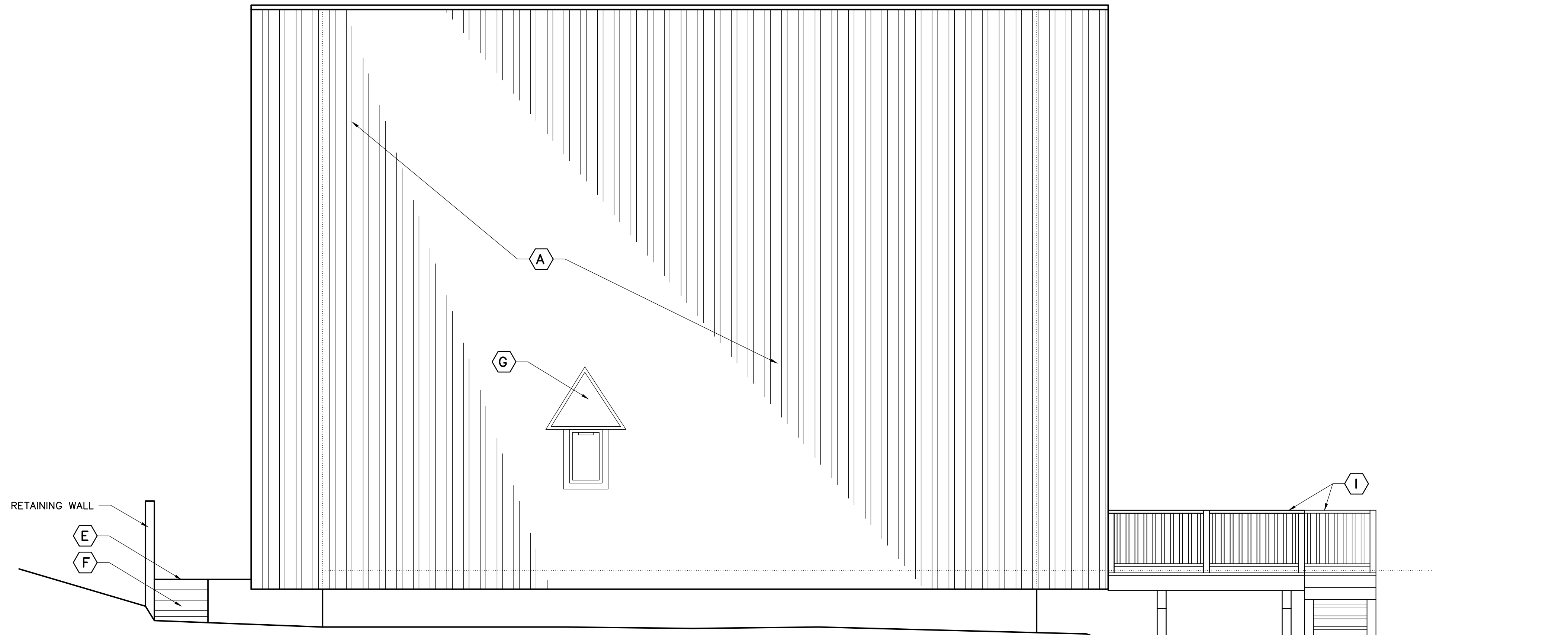
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Sheet No.
2
 Of 10 Sheets

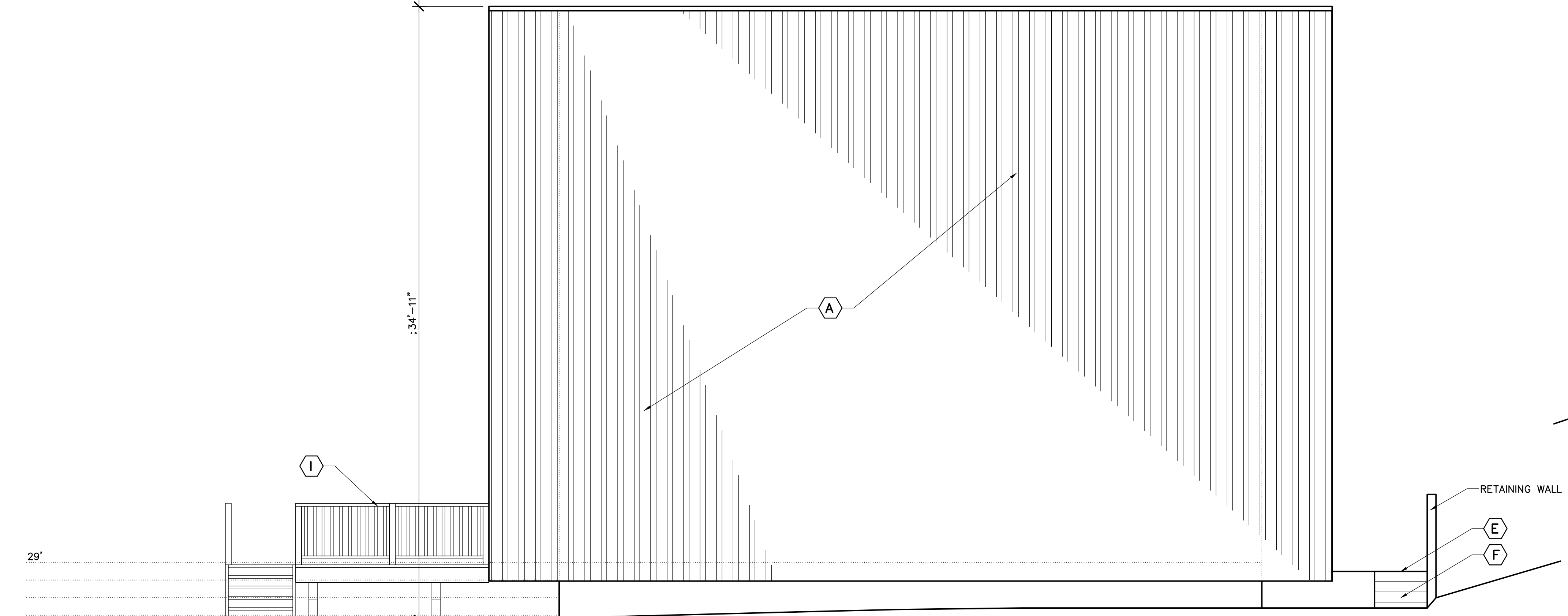
Job No. 2019-59
 File No. ELEV.

EXTERIOR FINISH KEY

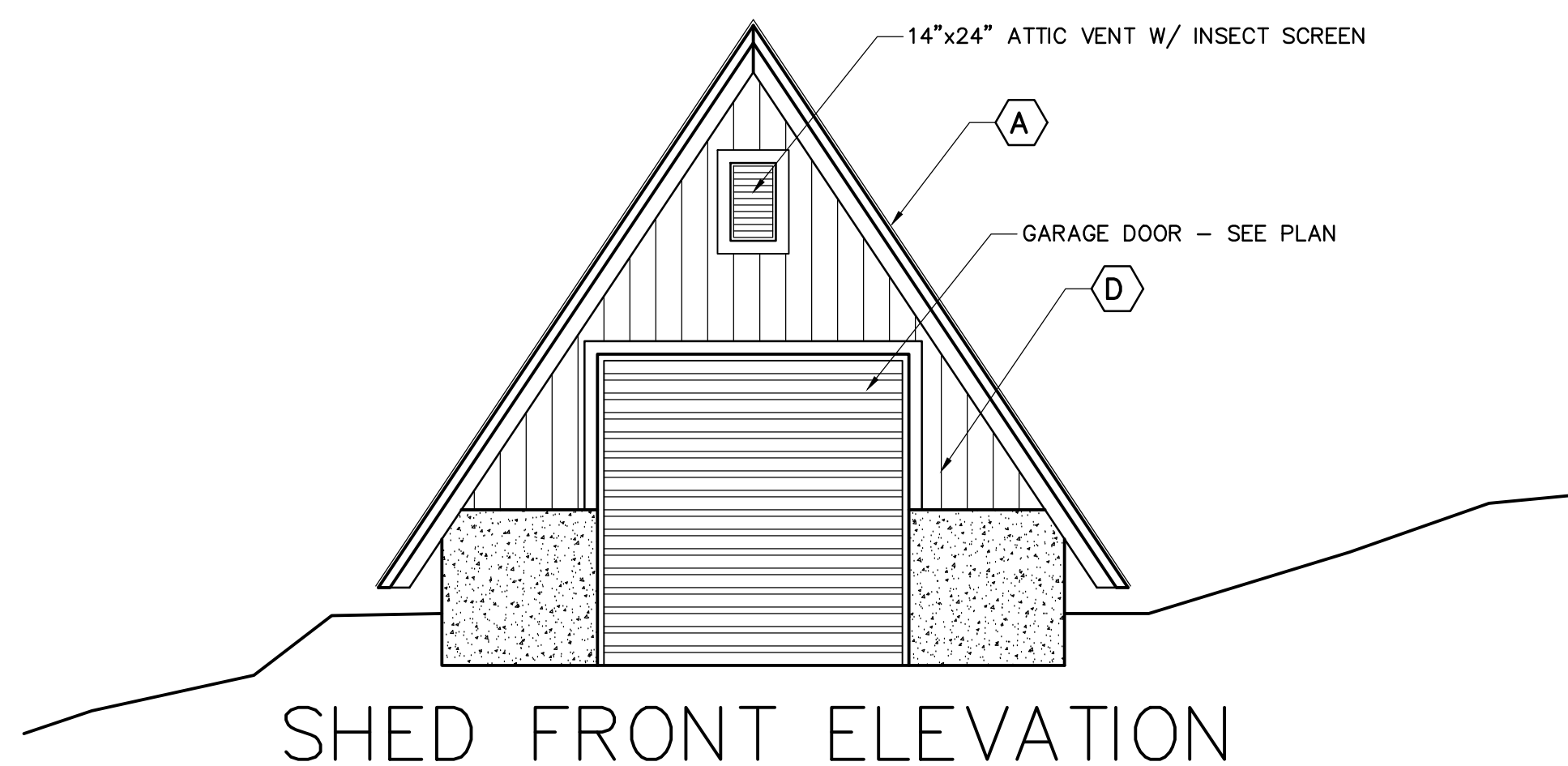
- (A) 26 GA. HIGH METAL ROOFING OVER 30# FELT
- (B) 2x14 BARGE RAFTER W/ 2x6 SHINGLE MOULD
- (C) VINYL FRAMED DUAL PANE WINDOWS OR DOOR (SELECTED BY OWNER) W/ 1x4 TRIM
- (D) HORIZONTAL LAP SIDING OVER 'TYVEK' INFILTRATION BARRIER
- (E) 4" THK. MIN. CONC. SLAB (SEE FOUNDATION PLAN)
- (F) CONCRETE STEPS DOWN - SEE PLAN
- (G) SNOW CRICKET - SEE PLAN
- (H) 2x6 CROSS BRACING
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- (J) 2x REDWOOD OR COMPOSITE DECKING



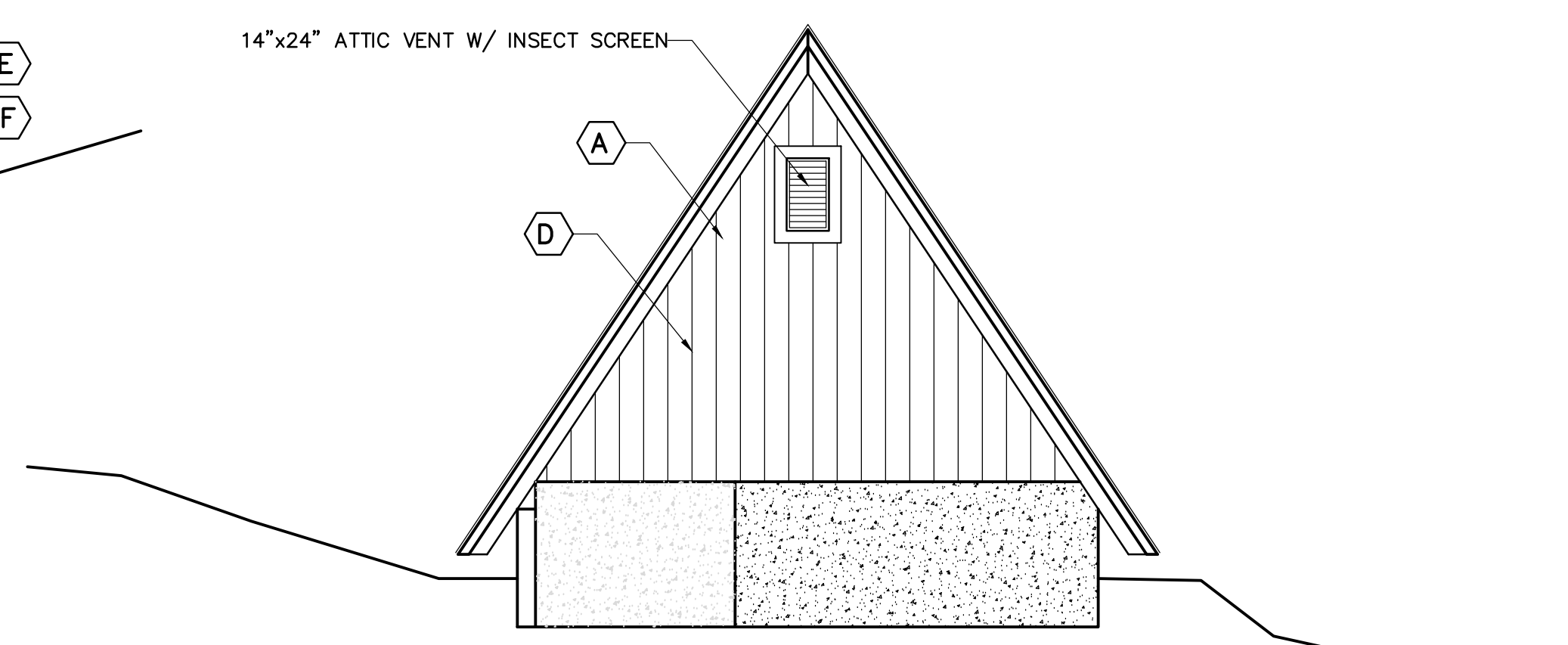
SIDE ELEVATION - south
SCALE : 1" = 1'-0"



SIDE ELEVATION - north
SCALE : 1" = 1'-0"



SHED FRONT ELEVATION
SCALE : 1" = 1'-0"



SHED REAR ELEVATION
SCALE : 1" = 1'-0"

Revisions:

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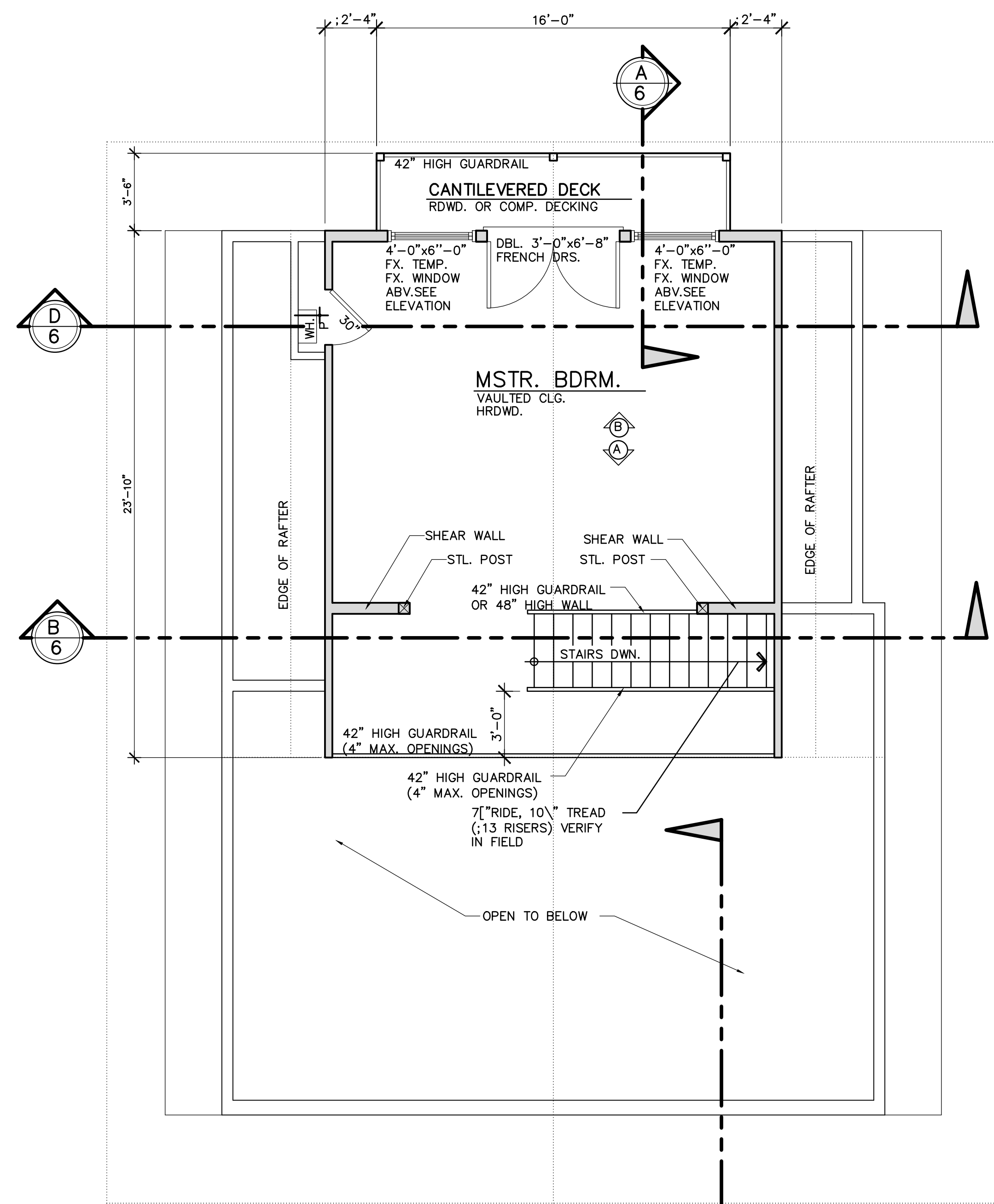
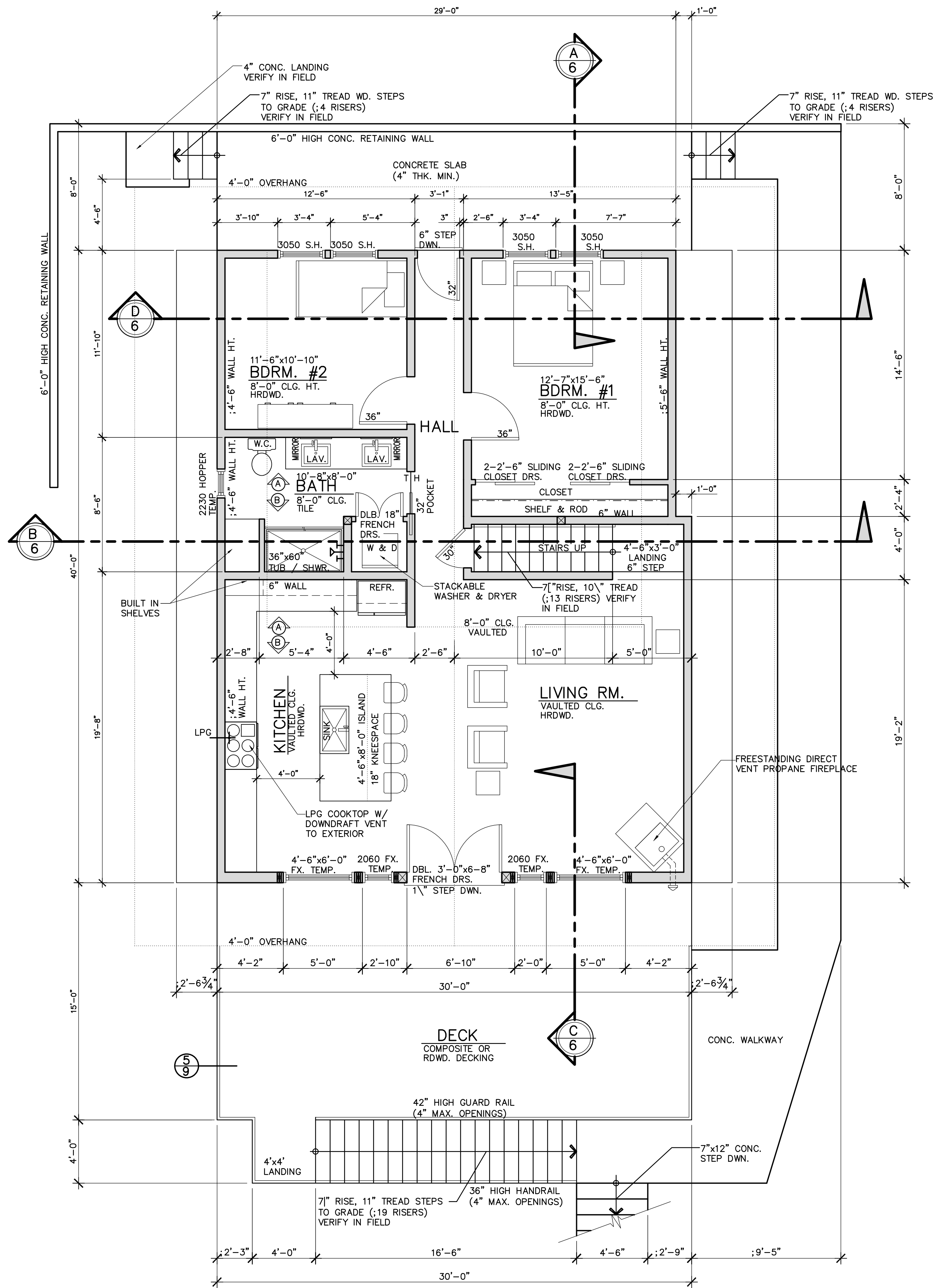
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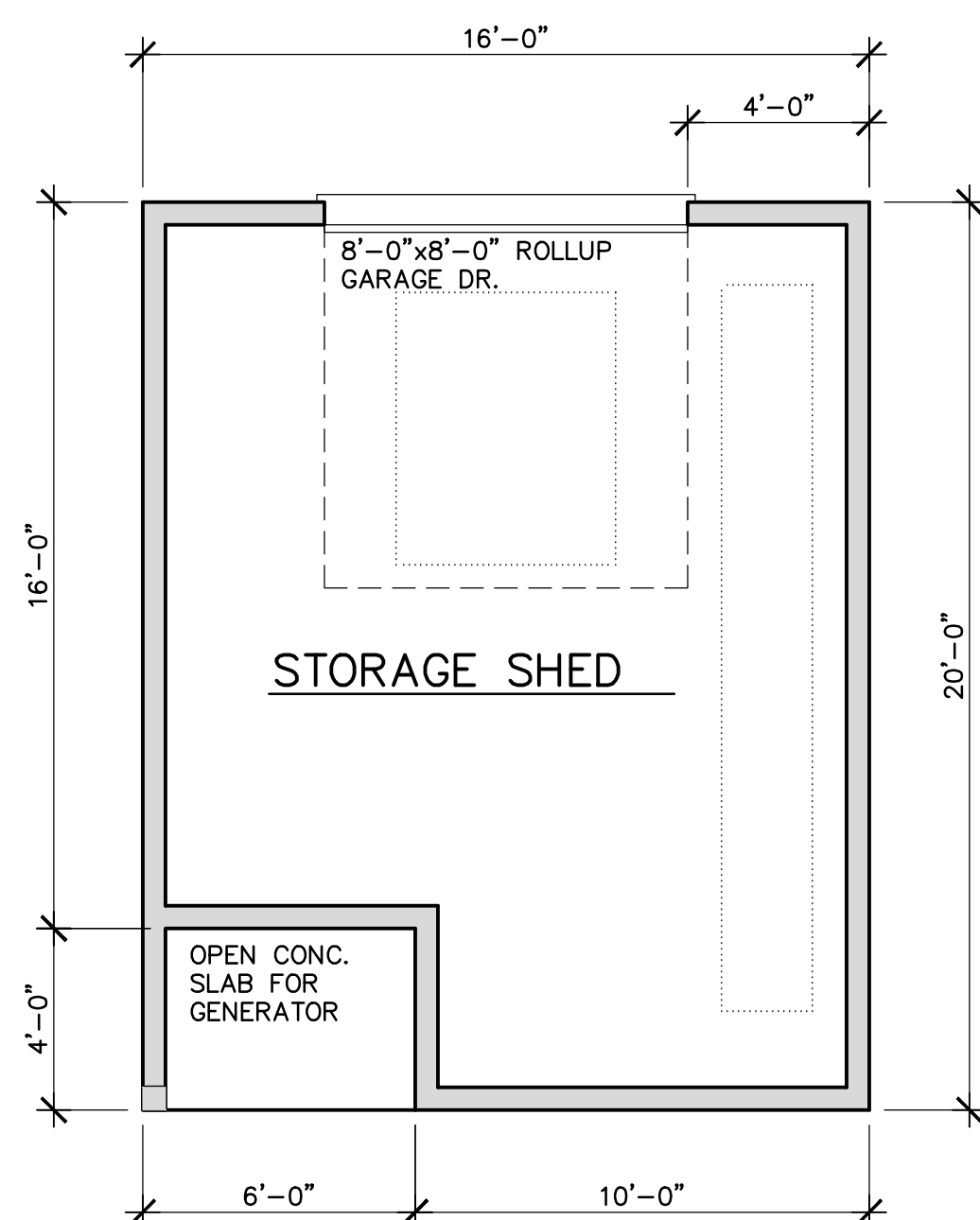
Sheet No.
3
 Of 10 Sheets

Job No. 2019-59
 File No. ELEV.



BUILDING AREA :

HABITABLE AREA:	
MAIN FLOOR AREA:	1,184 SQ. FT.
UPPER FLOOR AREA:	504 SQ. FT.
TOTAL HABITABLE AREA:	1,688 SQ. FT.
COVERED DECK AREA:	197 SQ. FT.
EXPOSED DECK AREA:	330 SQ. FT.
COVERED CONCRETE SLAB:	120 SQ. FT.
EXPOSED CONCRETE SLAB:	483 SQ. FT.
SHED / STORAGE AREA:	320 SQ. FT.



Revisions:

SB 11/29/2020	CLIENT REVISIONS
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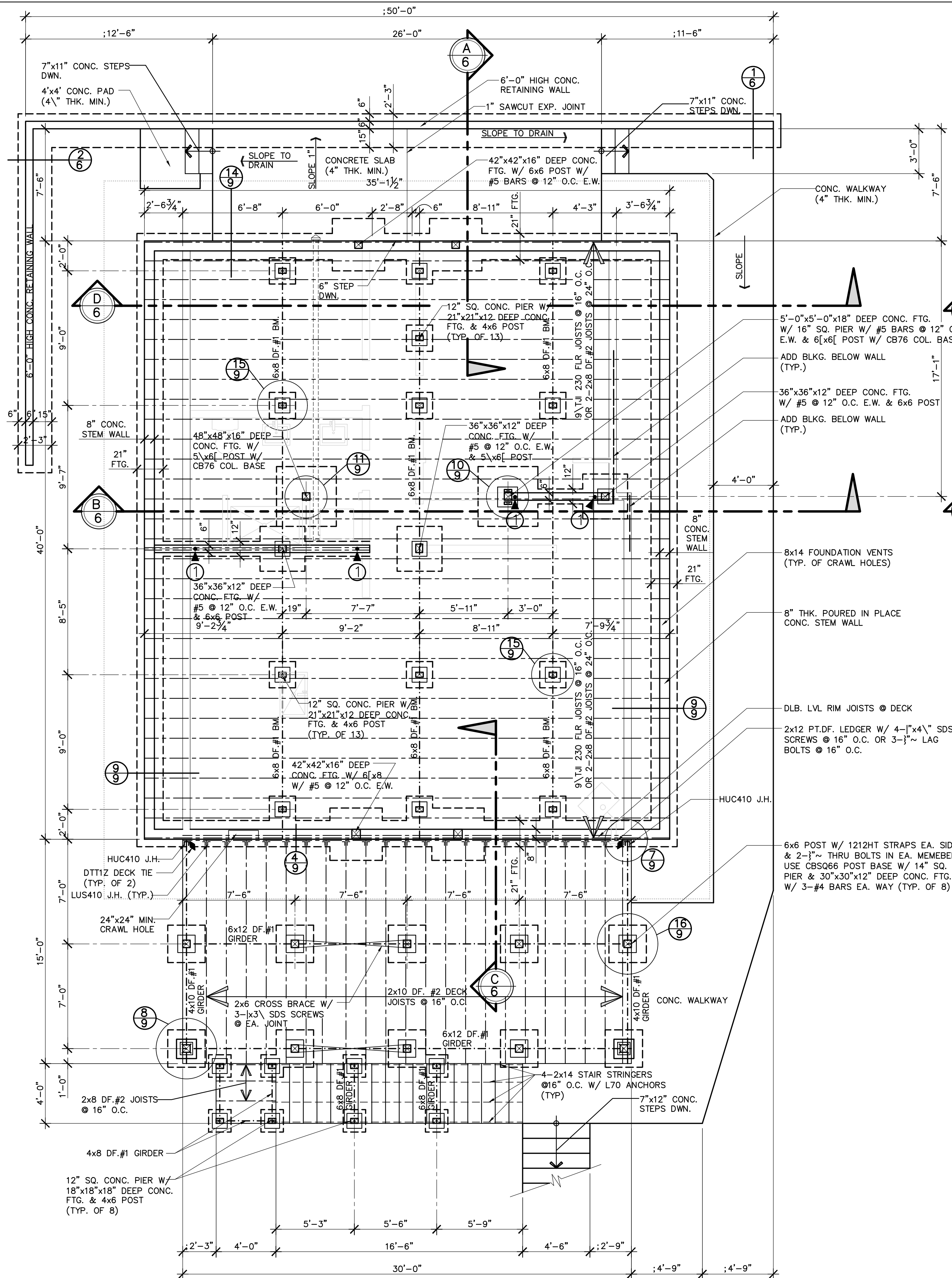
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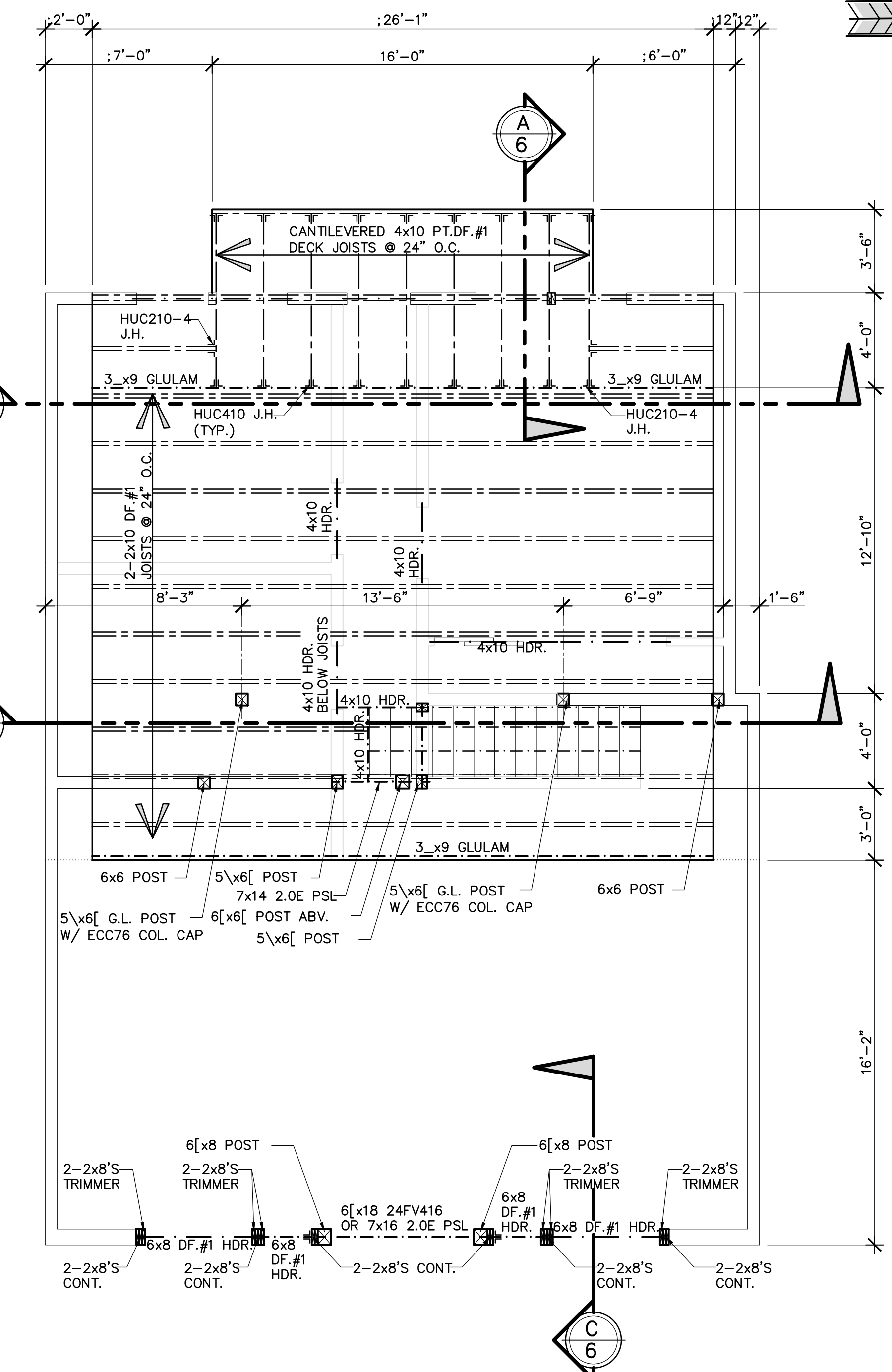
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 4
 Of 10 Sheets

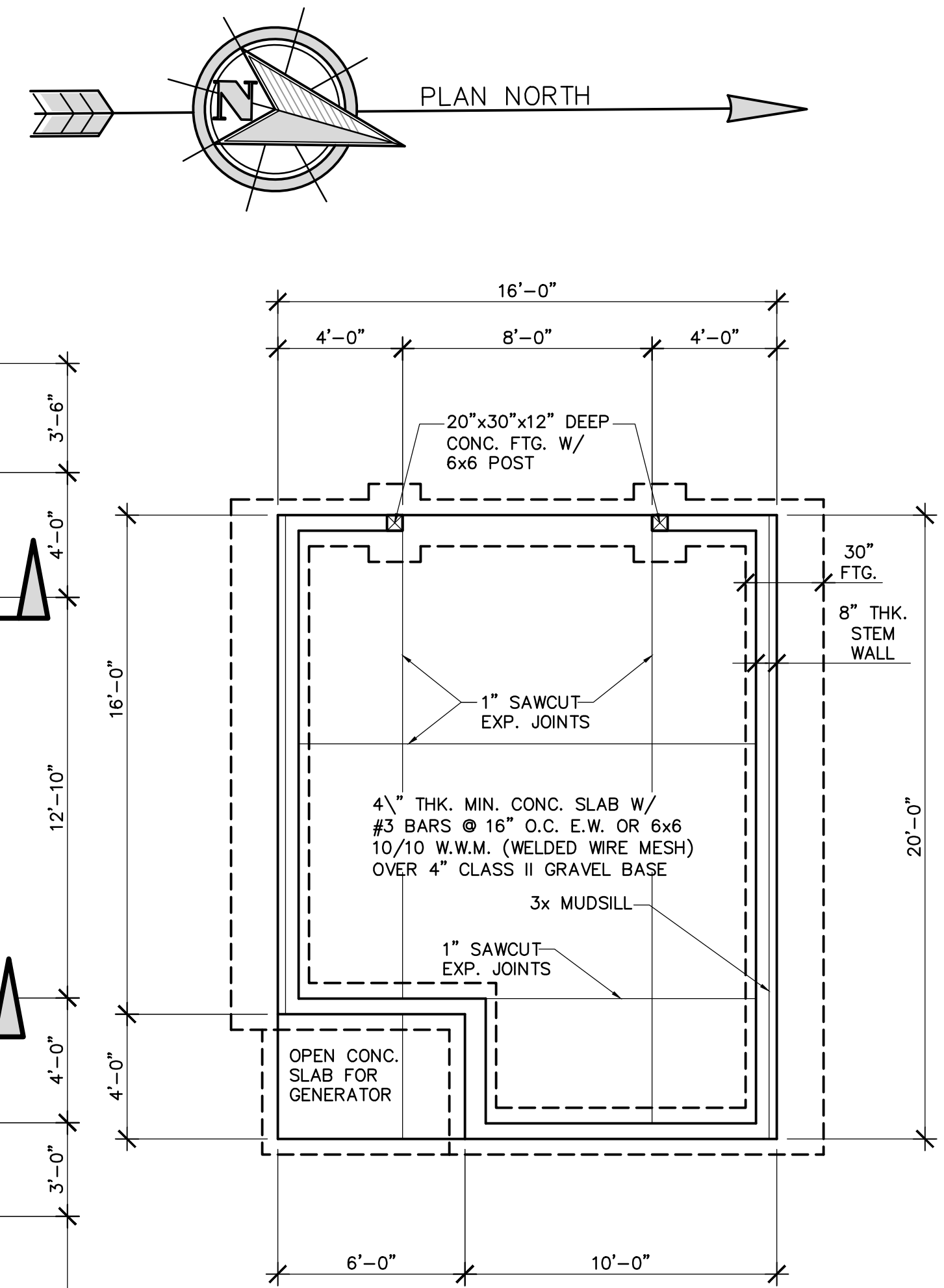
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File No. FLR.



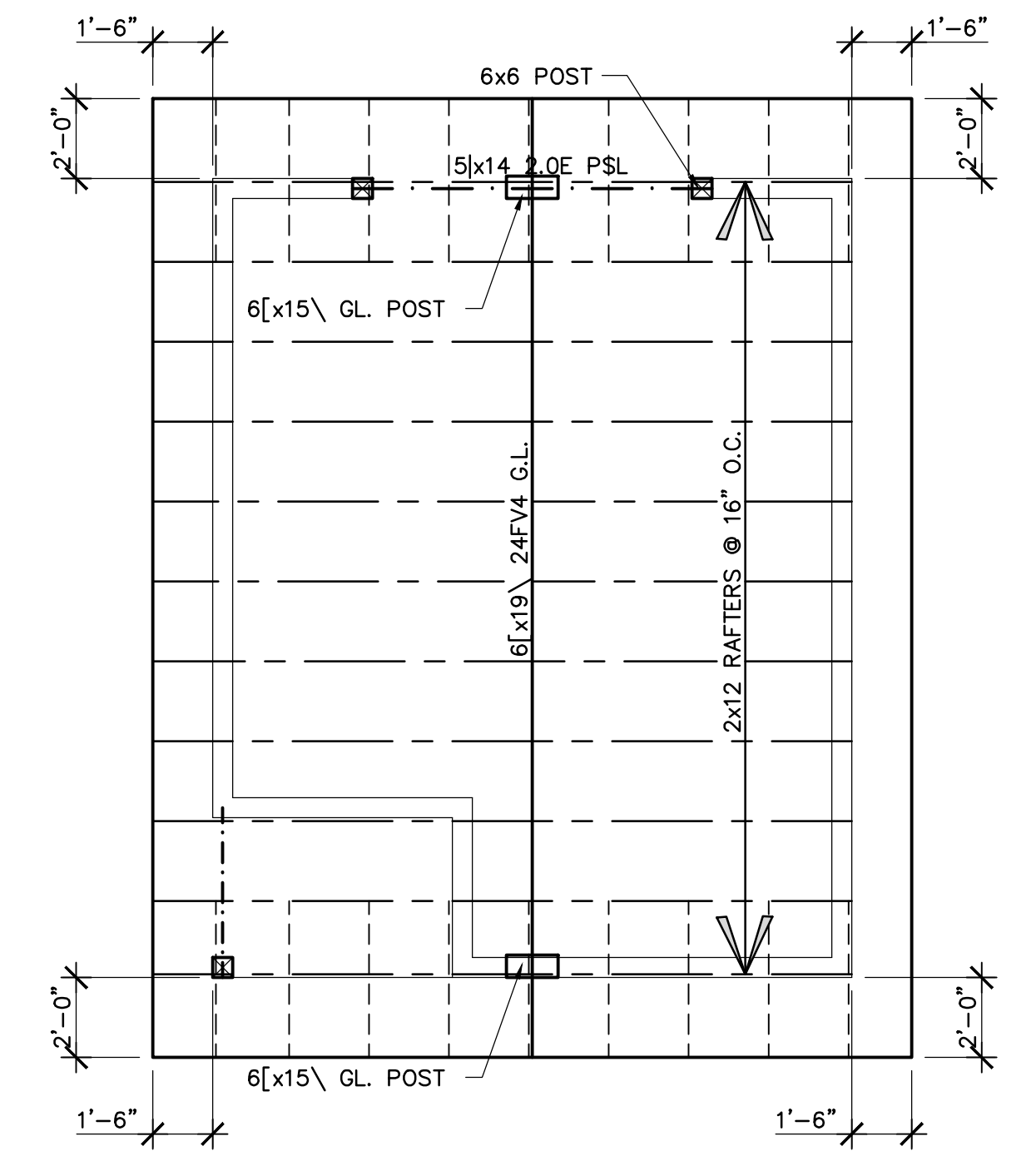
FOUNDATION & MAIN FLOOR FRAMING PLAN
SCALE : 1" = 1'-0"



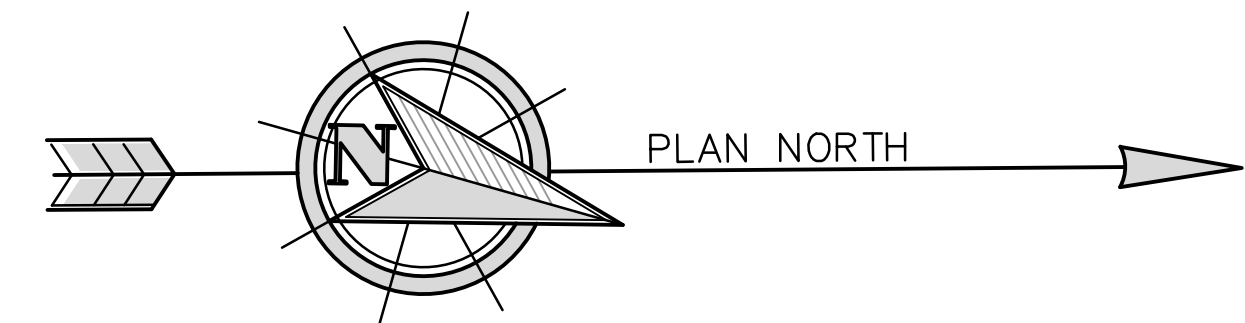
UPPER FLOOR FRAMING PLAN
SCALE : 1" = 1'-0"



FOUNDATION PLAN
SCALE : 1" = 1'-0"



SHED ROOF FRAMING PLAN
SCALE : 1" = 1'-0"



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SB 1/29/2020	CLIENT REVISIONS
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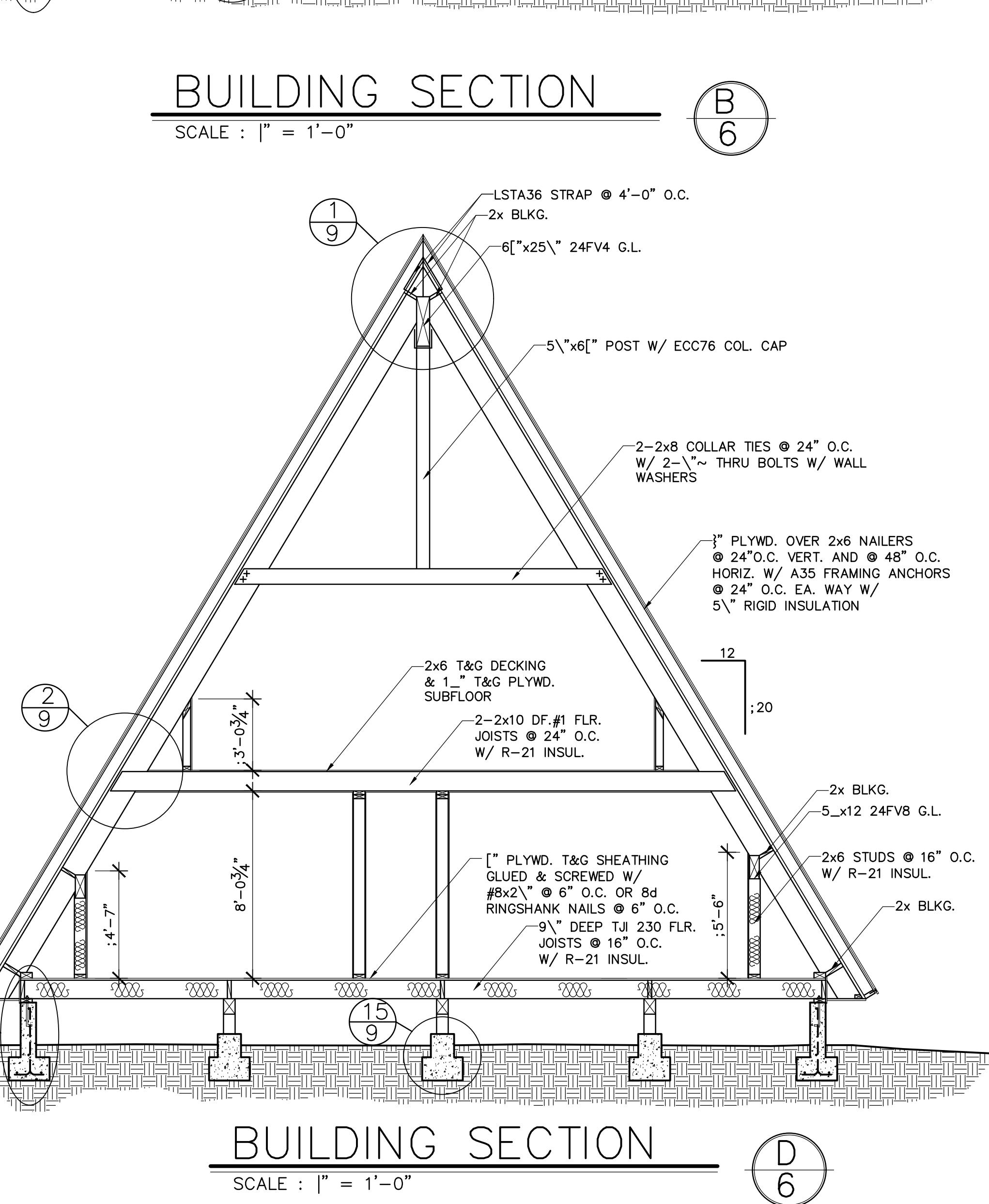
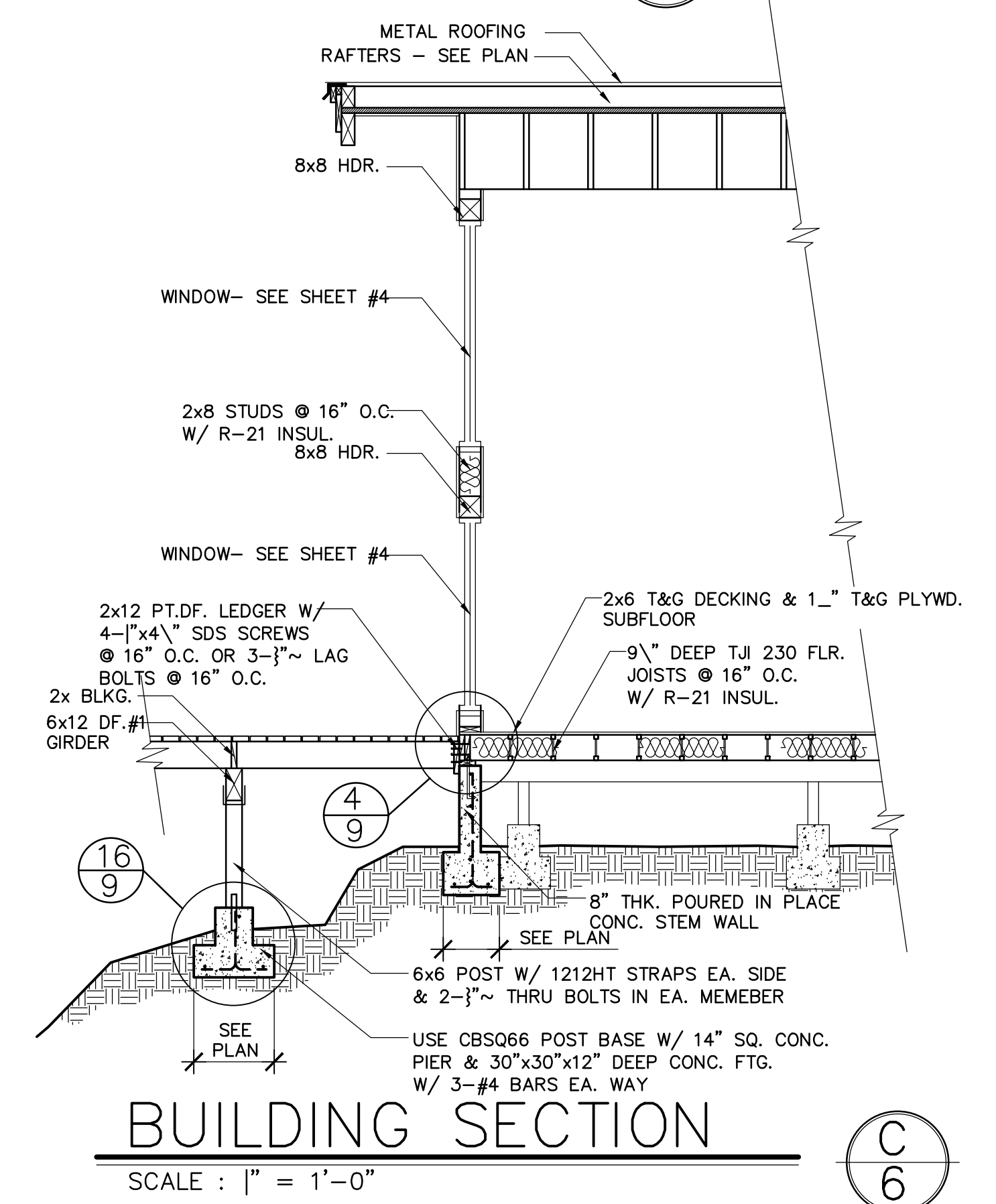
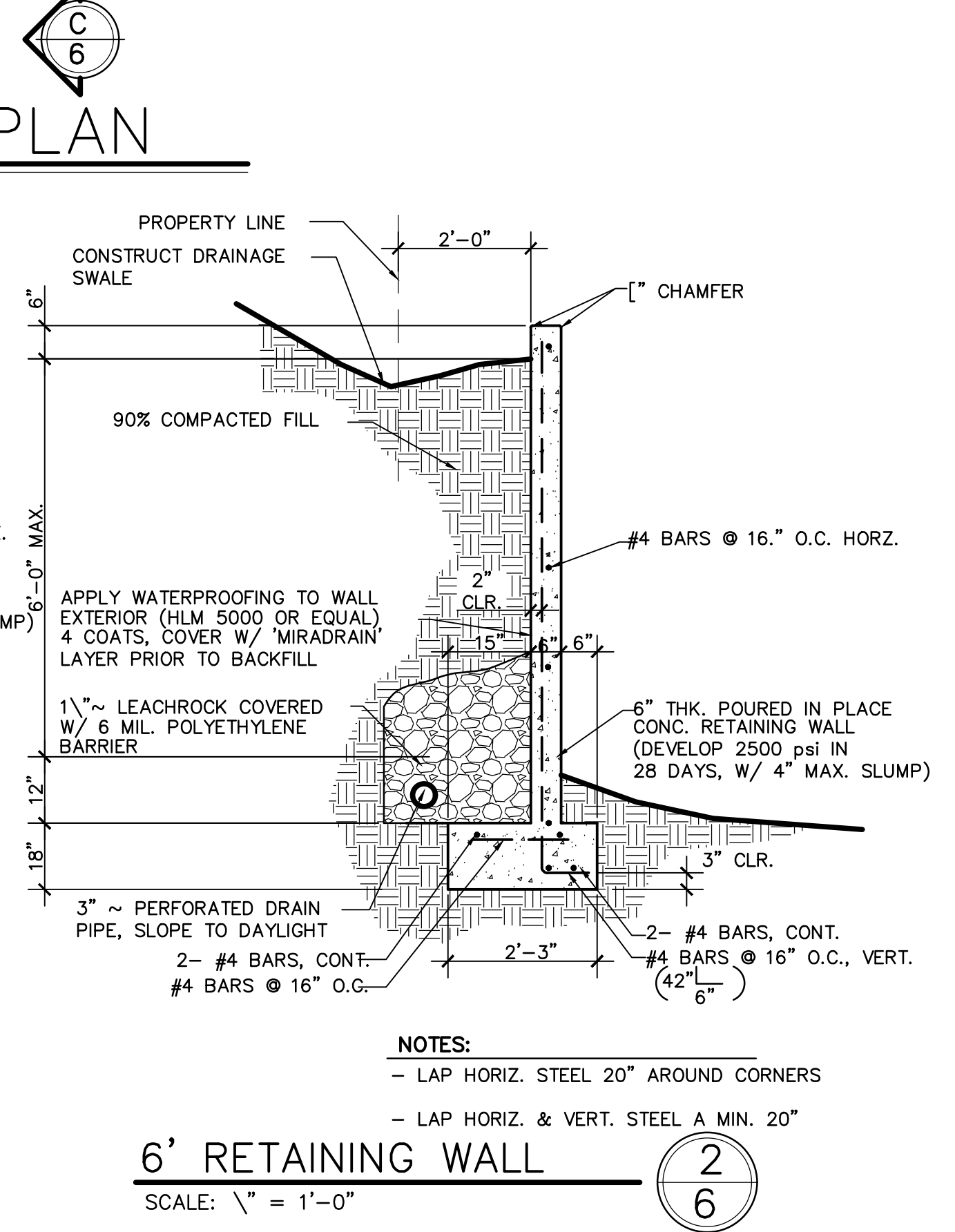
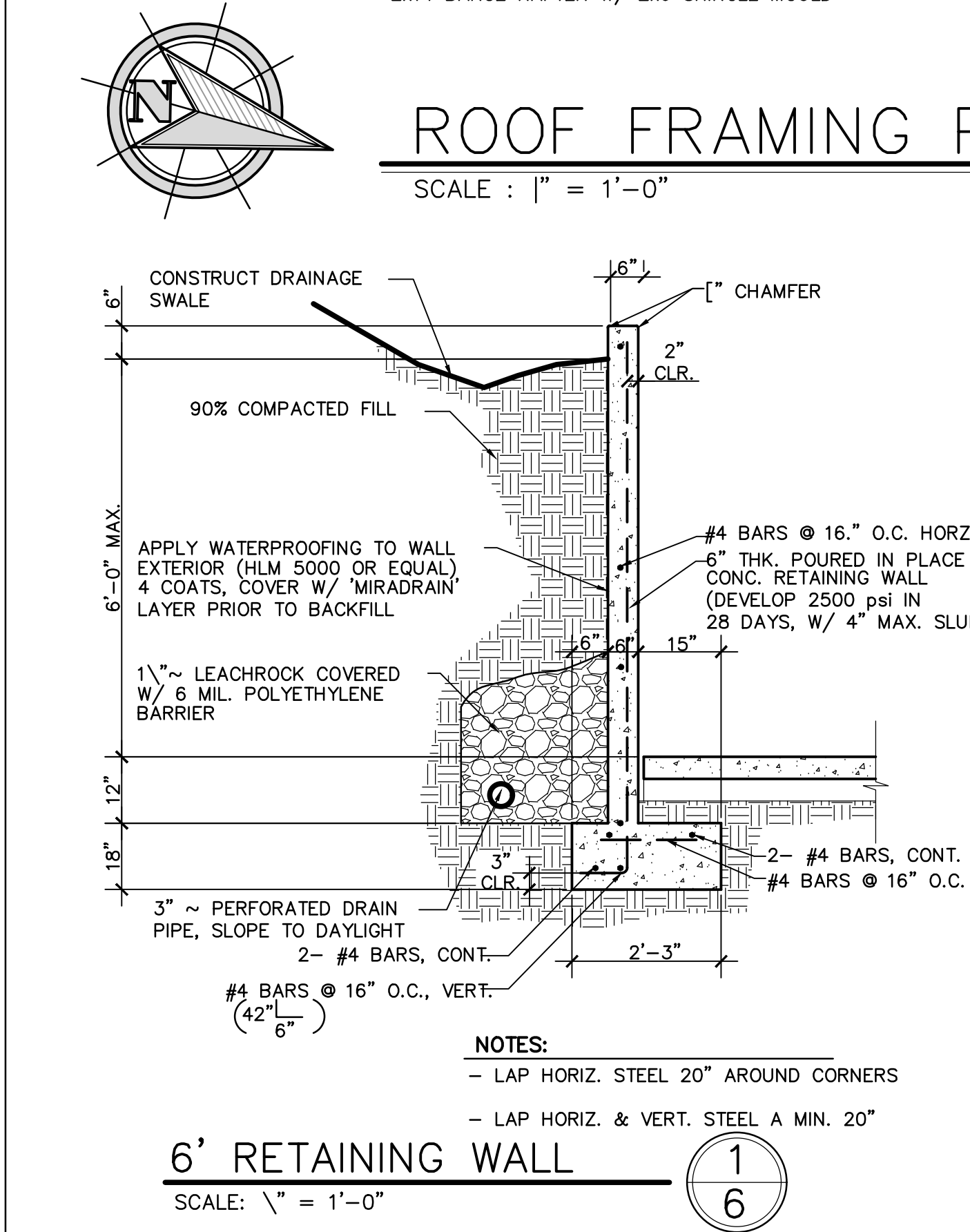
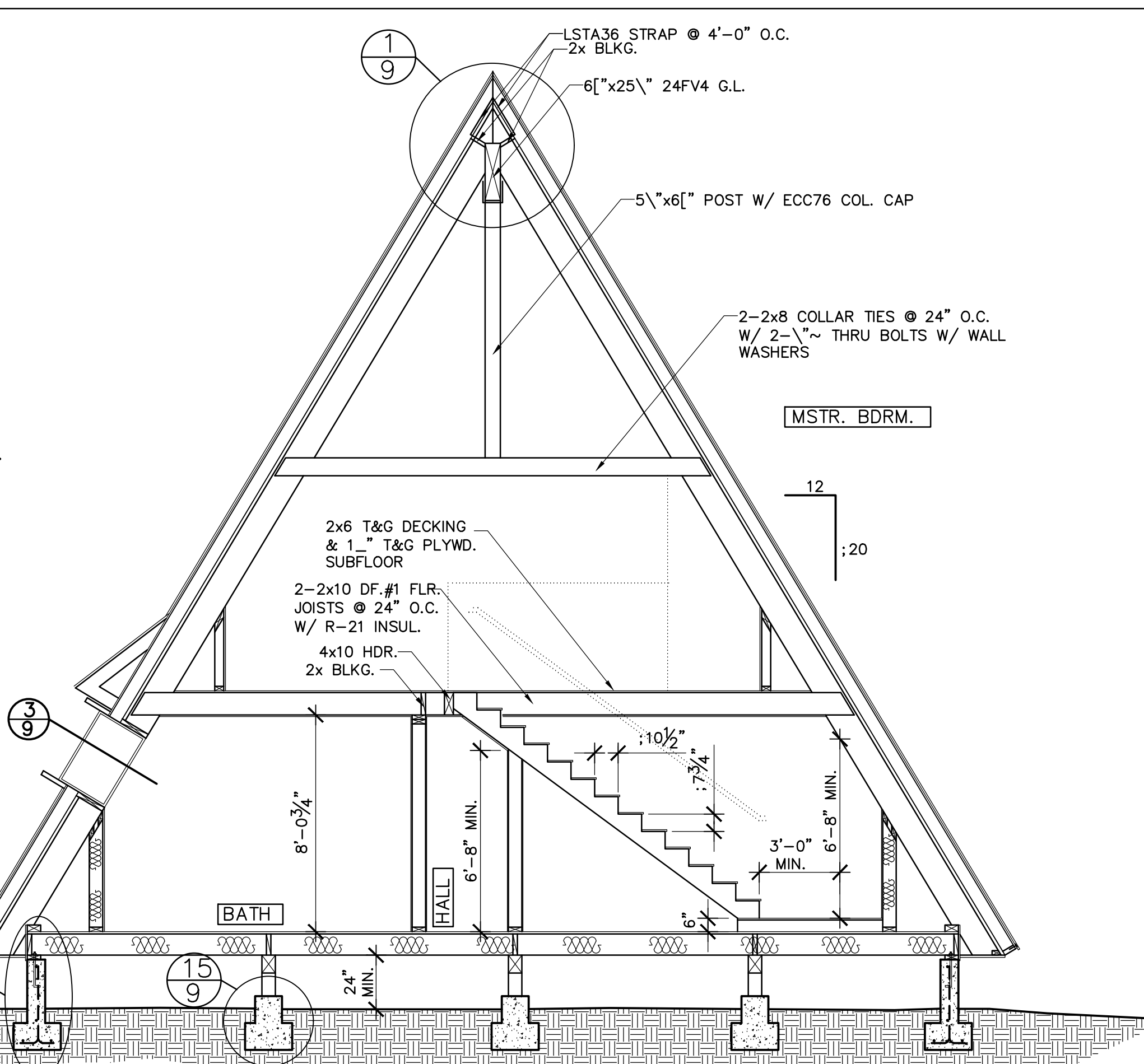
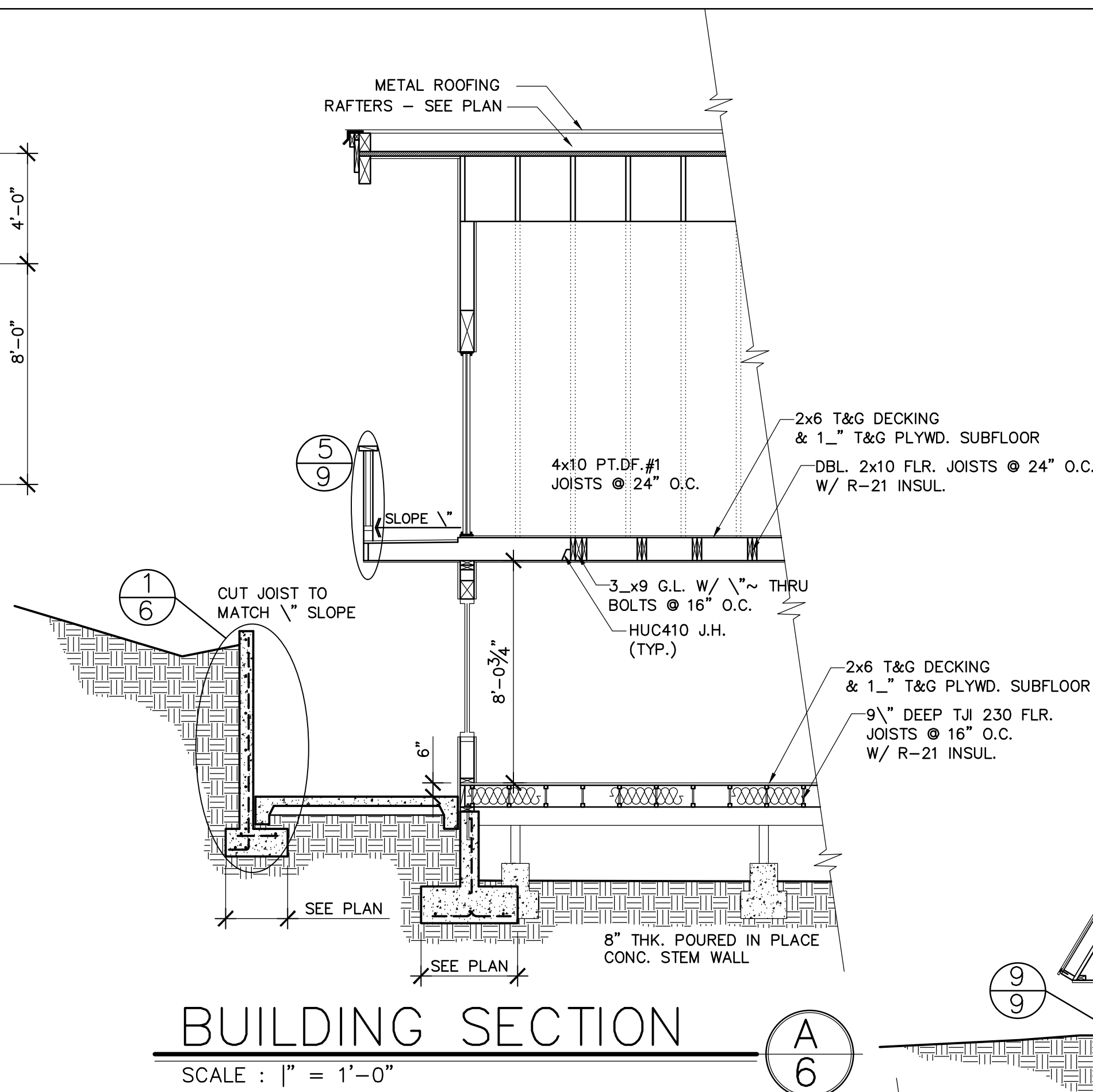
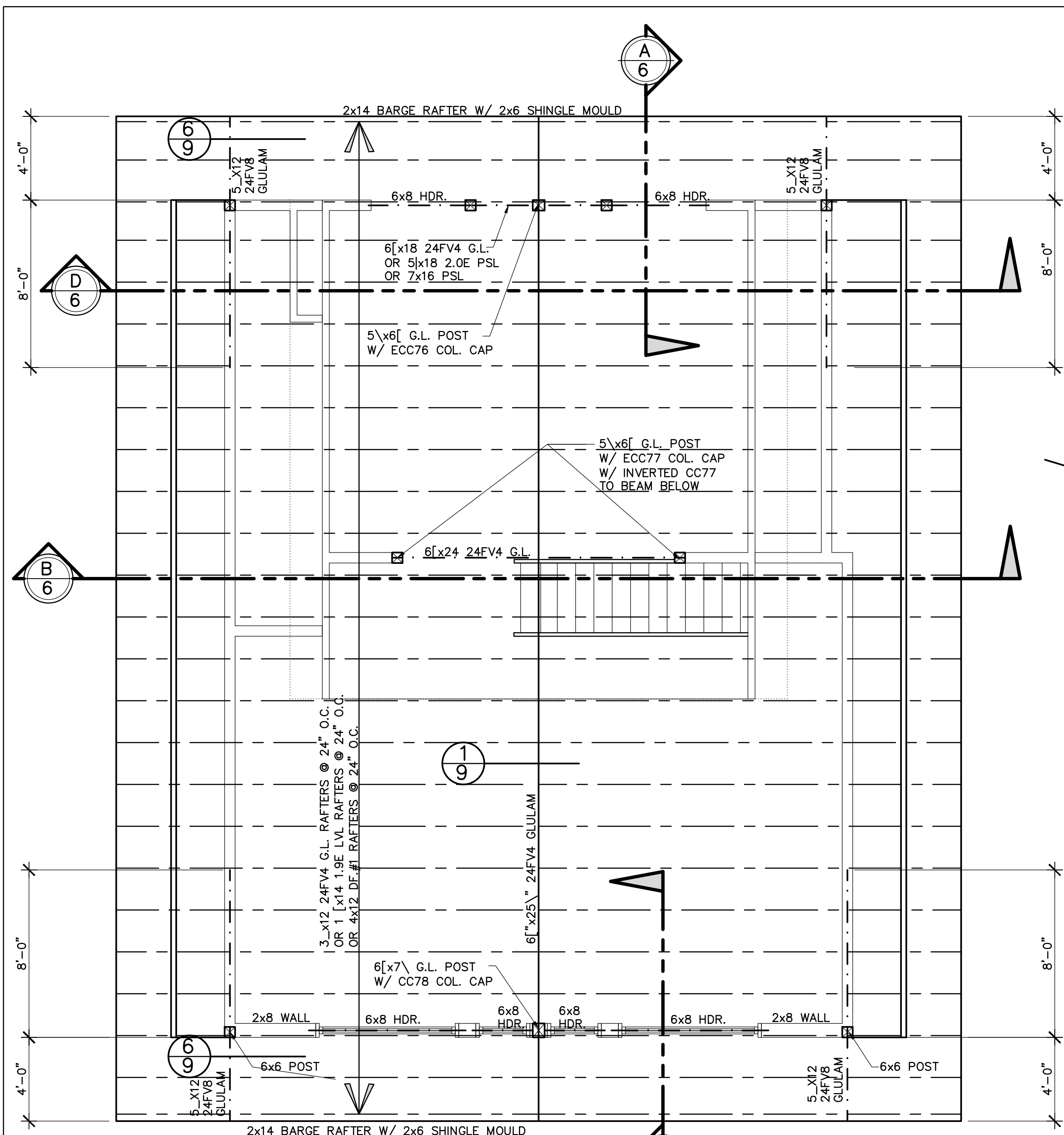
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Sheet No.
5
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Job No. 2019-59
File No. FRM'G



Revisions:

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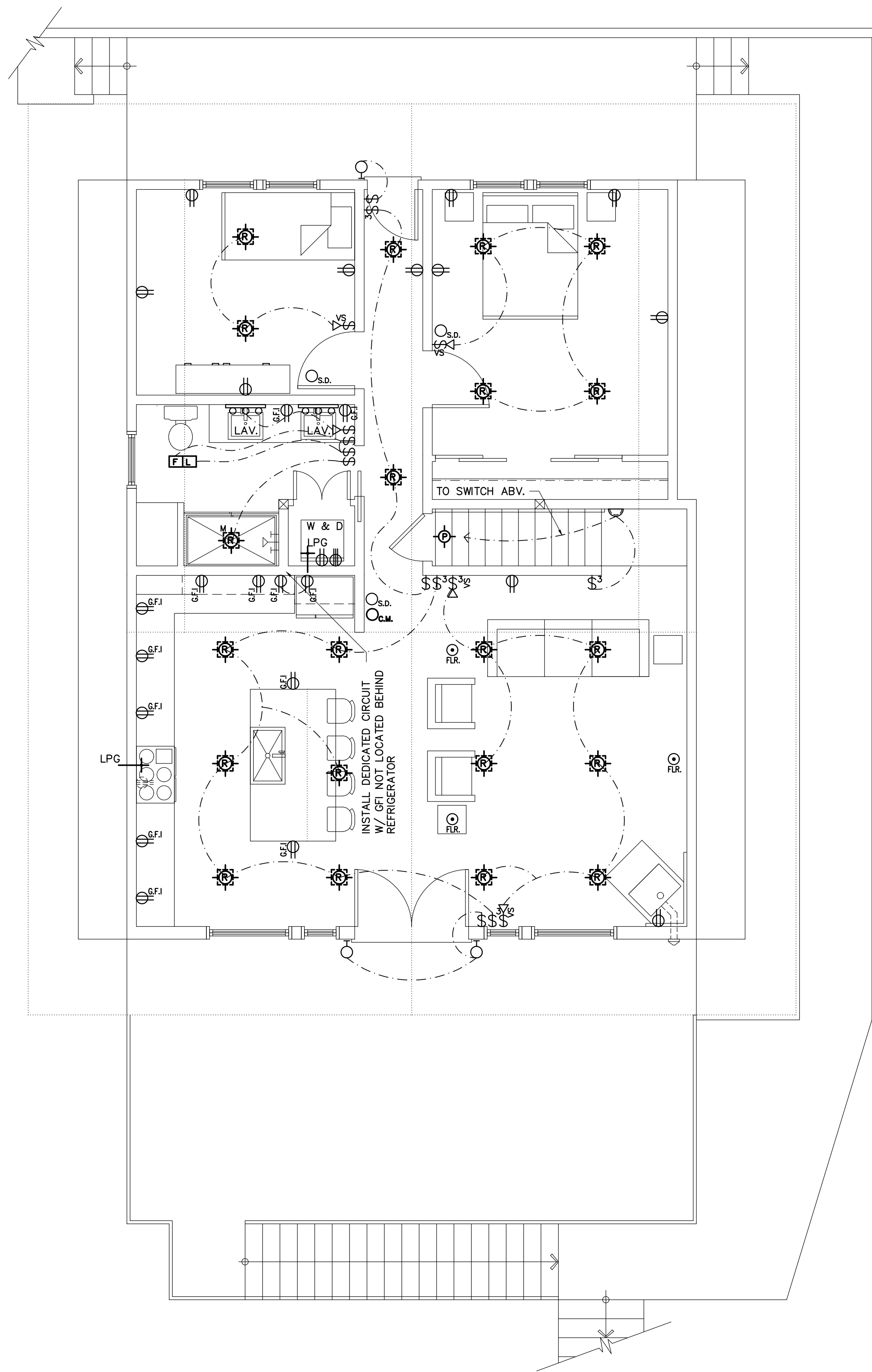
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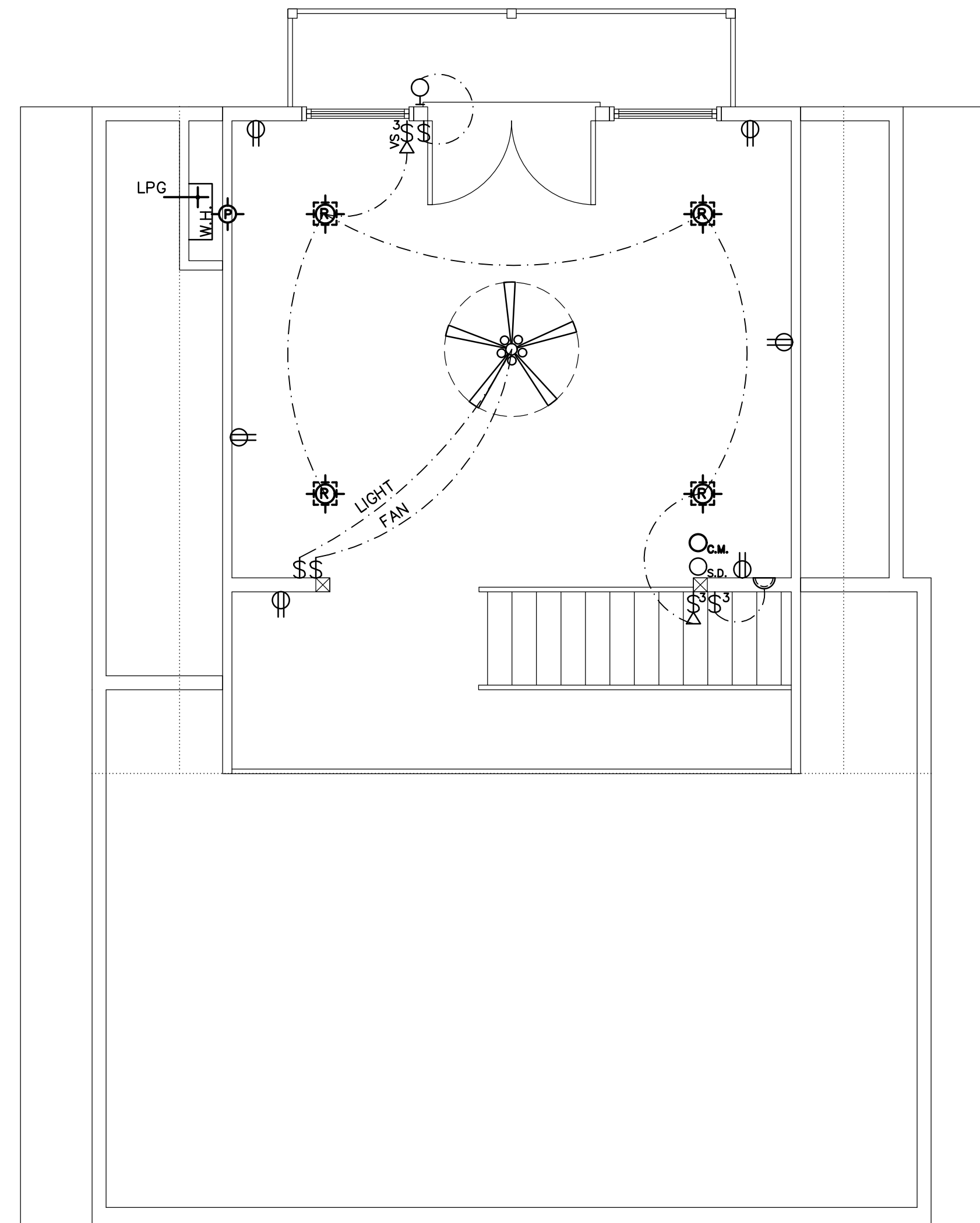
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 Of 10 Sheets

Job No. 2019-59
 File No. ROOF/SEC



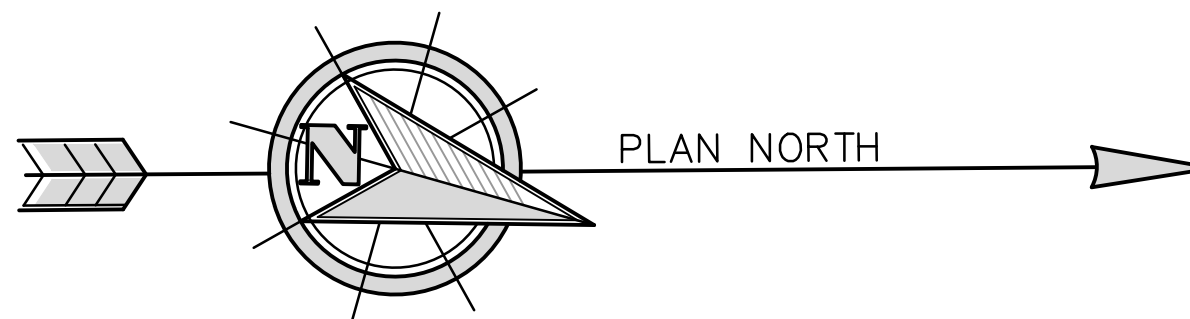
MAIN FLOOR ELECTRICAL PLAN

SCALE : 1" = 1'-0"



UPPER FLOOR ELECTRICAL PLAN

SCALE : 1" = 1'-0"



ELECTRICAL LEGEND

SYM.	DESCRIPTION	SYM.	DESCRIPTION	SYM.	DESCRIPTION	SYM.	DESCRIPTION
VS	VACANCY SENSOR	○	RECESSED LED LIGHT FIXTURE	⊕	110 VOLT DUPLEX OUTLET	F.H.B.	FREEZE PROOF HOSE BIBB W/ ANTI-SIPHON DEVICE
⊕	ELEC. METER W/ 200 AMP. RECESSED SERVICE PANEL	⊕	RECESSED LED (HIGH-EFFICACY LUMINAIRES) LIGHT FIXTURE	1/2 HOT	1/2 HOT DUPLEX OUTLET	⊕	PROPANE OUTLET
⊕	ELEC. SUBPANEL (RECESSED) WITH BREAKERS	⊕	RECESSED LED LIGHT FIXTURE W/ MOISTURE RESISTANT PROPERTIES	220V	220 VOLT OUTLET	⊕	THERMOSTAT
⊕	52" DIA. CEILING FAN FIXTURE (SILENT TYPE) W/ LIGHT FIXTURE	⊕	WALL MOUNTED VANITY LIGHT	44"	DUPLEX OUTLET AT 44" ABOVE FINISHED FLOOR (UNLESS NOTED)	•	DISPOSAL OUTLET NEAR SINK
⊕	4 FT. (2) TUBE LED LIGHT FIXTURE	⊕	FLOOD LIGHT W/ MOTION SENSOR & PHOTOCELL	G.F.I.	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER	E.D.O.	ELEC. GARAGE DOOR OPENER W/ LIGHT & REMOTE (APPROVED BY OWNER)
⊕	8 FT. (2) TUBE LED LIGHT FIXTURE	⊕	CIRCULATING FAN (TO OUTSIDE), HEAT & (HIGH-EFFICACY FLUORESCENT LIGHT COMBINATION) FIXTURE AT CEILING	G.F.I. W/ P.C.	110 V. G.F.I. DUPLEX OUTLET W/ WATERPROOF COVER	⊕	INSTALL AUTO / MANUAL TRANSFER SWITCH FOR GENERATOR AS REQUIRED BY POWER CO. (VERIFY SIZE & TYPE)
⊕	RECESSED 4 FT. (2) TUBE LED LIGHT FIXTURE W/ TRIM & ACRYLIC DIFFUSER	⊕	CIRCULATING FAN (TO OUT SIDE), & (HIGH-EFFICACY LED LIGHT COMBINATION) FIXTURE AT CEILING	HM	HYDRO-MASSAGE TUB MOTOR (220V)	⊕	CEILING MOUNTED LED LIGHT FIXTURE W/ MOTION SENSOR
⊕	UNDER CABINET (LED) LIGHTS W/ SWITCH	⊕	CIRCULATING FAN (TO OUTSIDE) & HEAT COMBO. FIXTURE AT CEILING	⊕	DUPLEX FLOOR OUTLET W/ METAL COVER (VERIFY LOCATION W/ OWNER PRIOR TO INSTALLATION)		
⊕	CEILING MOUNTED LED LIGHT FIXTURE	⊕	ONE-WAY SWITCH	⊕	70 C.F.M. EXHAUST FAN AT CEILING		
⊕	CEILING MOUNTED LED (HIGH-EFFICACY LUMINAIRES) LIGHT FIXTURE	⊕	THREE-WAY SWITCH	⊕	TELEVISION OR CABLE JACK		
⊕	SUSPENDED LED LIGHT FIXTURE	⊕	FOUR-WAY SWITCH	⊕	PHONE JACK		
⊕	WALL MOUNTED INTERIOR LED LIGHT FIXTURE	⊕	SWITCH W/ VACANCY SENSOR	⊕	APPROVED SMOKE DETECTOR (DIRECT WIRED) W/ BATTERY BACKUP		
⊕	WALL MOUNTED LED LIGHT FIXTURE	⊕	(3) SWITCHES FOR HEAT, LIGHT & FAN COMBO.	⊕	APPROVED CARBON MONOXIDE ALARM (DIRECT WIRED) W/ BATTERY BACKUP (INTER. CONNECTED)		
⊕	CEILING MOUNTED LED LIGHT FIXTURE W/ PULL CHAIN	⊕	DIMMER SWITCH				

ELECTRICAL NOTES:

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 15 & 20 AMPERE OUTLETS & LIGHTS ETC. IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOR, LIBRARIES, DEN, BEDROOMS, SUN ROOMS, RECREATION ROOMS, LAUNDRY ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTERS.

KITCHEN:

SECTION 150 (K) 2: PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH-EFFICACY LUMINAIRES, MANUAL ON - AUTO OFF RECESSED DOWNLIGHTS.
 BRANCH CIRCUITS - MINIMUM TWO(2)-20 AMP SMALL APPLIANCE CIRCUITS REQUIRED. SMALL APPLIANCE CIRCUITS MUST SERVE ALL COUNTERTOP, EXPOSED WALL & REFRIGERATOR. NO OTHER OUTLETS SERVED (LIGHTING ETC.)
 RECEPTACLE OUTLETS - INDIVIDUAL COUNTER GREATER THAN 12" WIDTH REQUIRES OUTLETS. SPACING SO NO MORE THAN 24" FROM OUTLET. ISLANDS & PENINSULA COUNTER SPACES - MINIMUM 1 OUTLET. ALL OUTLETS SERVING COUNTERTOPS TO BE GFCI PROTECTED. DEDICATED CIRCUITS FOR DISHWASHER, REFRIGERATOR, AND ENVIRONMENTAL FANS.
 C.E.C. 210.11C - C.E.C. 210.52 B1,2 - 210.52C

BATHROOMS, GARAGES, LAUNDRY RMS. & UTILITY RMS.

SECTION 150 (K) 2: PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH-EFFICACY LUMINAIRES.

BATHROOMS: SHALL HAVE MANUAL-ON VACANCY SENSOR WITH AUTO-OFF CONTROLLING A MINIMUM ONE LUMINAIRE. EXHAUST FANS SWITCHED SEPARATELY.

GARAGE, LAUNDRY RMS. & UTILITY RMS. : SHALL HAVE MANUAL-ON VACANCY SENSOR WITH AUTO-OFF CONTROLLING A MINIMUM ONE LUMINAIRE.

BRANCH CIRCUITS - MINIMUM ONE(1)-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLET. AT LEAST ONE(1) OUTLET SHALL BE INSTALLED WITHIN 36" OF OUTSIDE EDGE OF EACH BASIN. LOCATE ON ADJACENT WALL, PARTITION, OR BASIN CABINET LESS THAN OR EQUAL TO 12" BELOW COUNTERTOP - GFCI PROTECTED

EXCEPTION: WHERE THE 20-AMPERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE W/ 210.23(A)(1) & (A)(2) (LIGHTS & FAN)

OTHER SPACES:

SECTION 150 (K) 4: PERMANENTLY INSTALLED LUMINAIRES LOCATED IN CLOSETS OVER (70) SQ. FT. IN SIZE, BEDROOMS, LIVING SPACES SHALL BE HIGH-EFFICACY LUMINAIRES.

PERMANENTLY INSTALLED LUMINAIRES SHALL BE CONTROLLED BY DIMMER OR VACANCY SENSORS.

EXCEPTION HALLWAY AND CLOSETS DO NOT REQUIRE VACANCY SENSOR OR DIMMER.

PORCHES AND OUTDOOR LIGHTING:

SECTION 150 (K) 3: LUMINAIRES PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH-EFFICACY LUMINAIRES.

CONTROLLED BY MANUAL-ON-OFF AND: PHOTO CELL & MOTION SENSOR WITH PHOTO CONTROL, OR PHOTO CELL AND TIME SWITCH, OR EMCS, OR ASTRONOMICAL TIME CLOCK

RECESSED LIGHTS:

DOWNLIGHTS INSTALLED IN CEILINGS MUST BE ICAT & ASTM CERTIFIED E283 OR EQUIVALENT. INSTALLATION IS AIRTIGHT WITH GASKETS OR CAULKING. ALL RECESSED DOWNLIGHT LAMPS MUST BE JAB-E LAMPS 2016-E COMPLIANT. NO SCREW BASED SOCKETS.

Revisions:	SB 11/20/2020	CLIENT REVISIONS

Engineer:

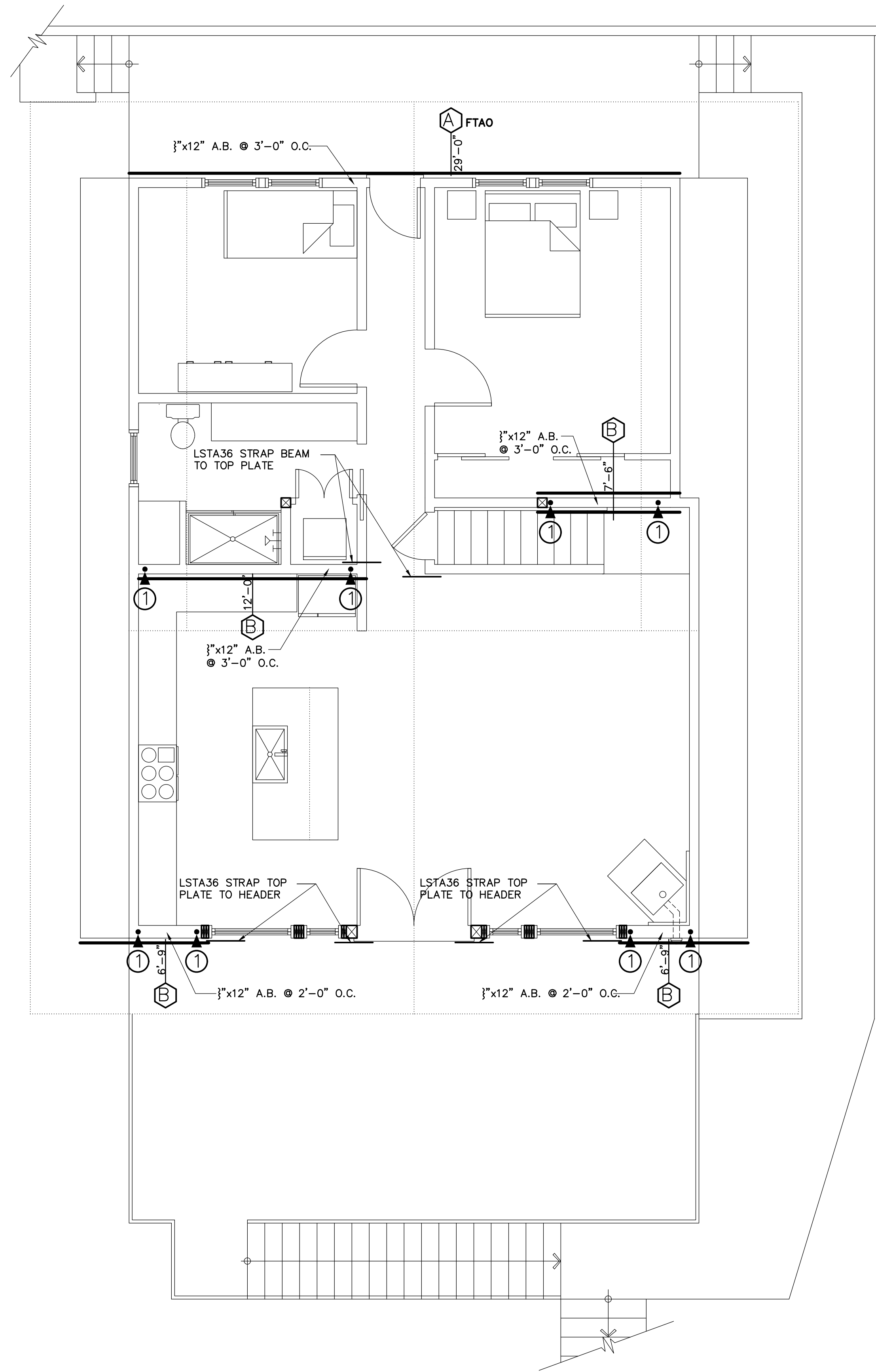
Project Title: A.P.N. - 003-291-007
 PROPOSED A-FRAME CABIN for:
BRANISLAVA KOREN & DOUGLAS SHARP
 3566 LAKE VIEW DRIVE, LITTLE GRASS VALLEY, LA PORTE
 COUNTY OF PLUMAS, CALIFORNIA

NST ENGINEERING, INC.
 1495 Riverside Drive * Susanville, CA 96130
 Engineering * Planning * Surveying
 Phone: (530) 257-5173 Fax: (530) 257-6272

Date: 12/26/2019
 Drawn: SB
 Checked: JM

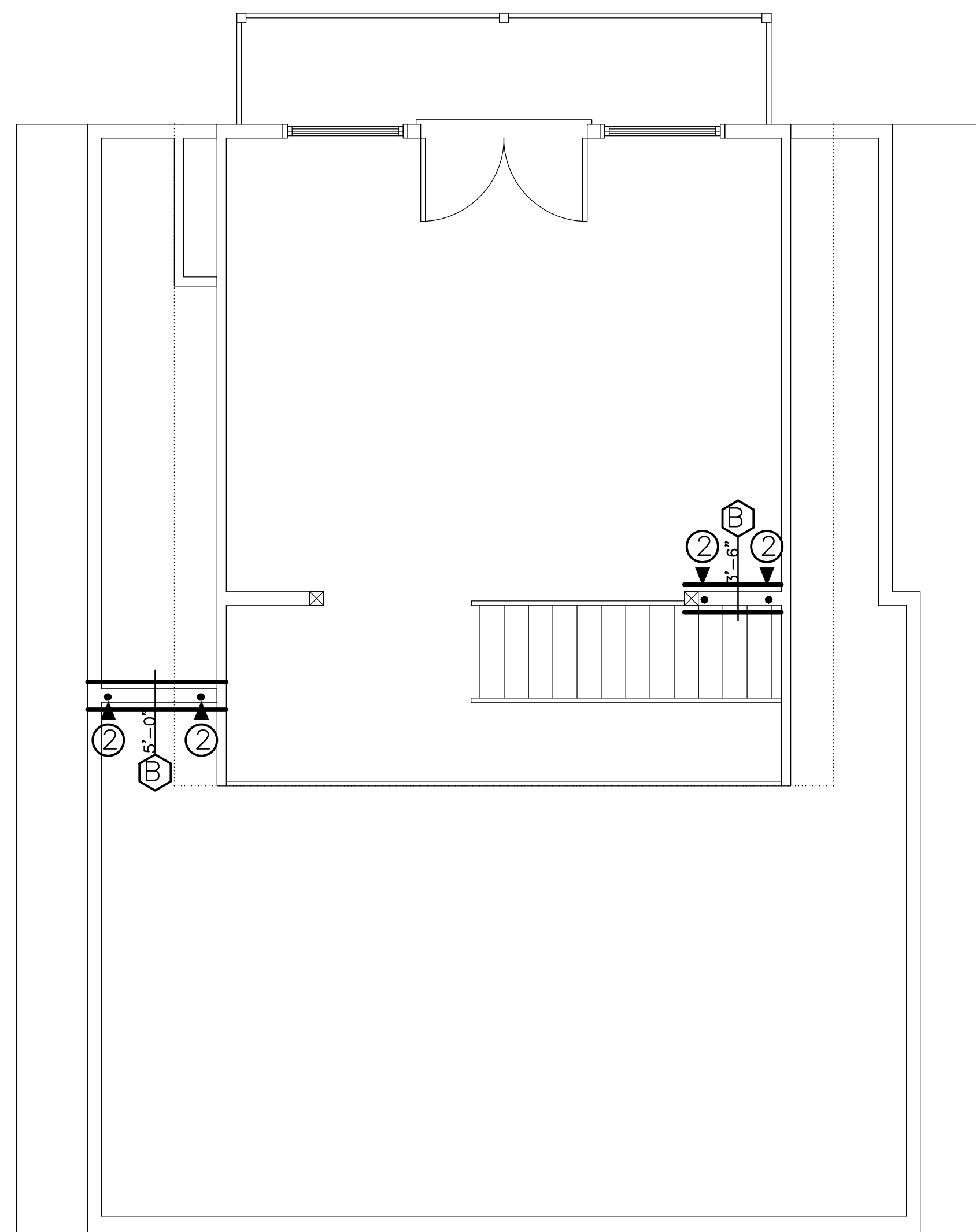
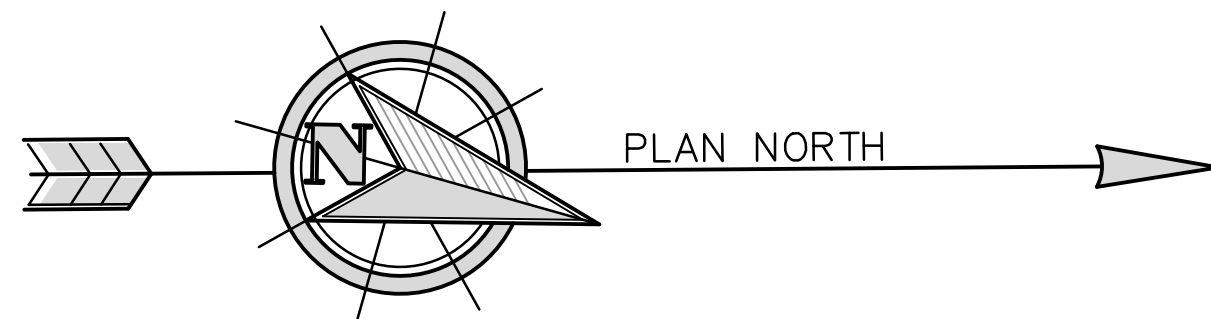
Sheet No.
 7
 Of 10 Sheets

Job No. 2019-59
 File No. ELEC.



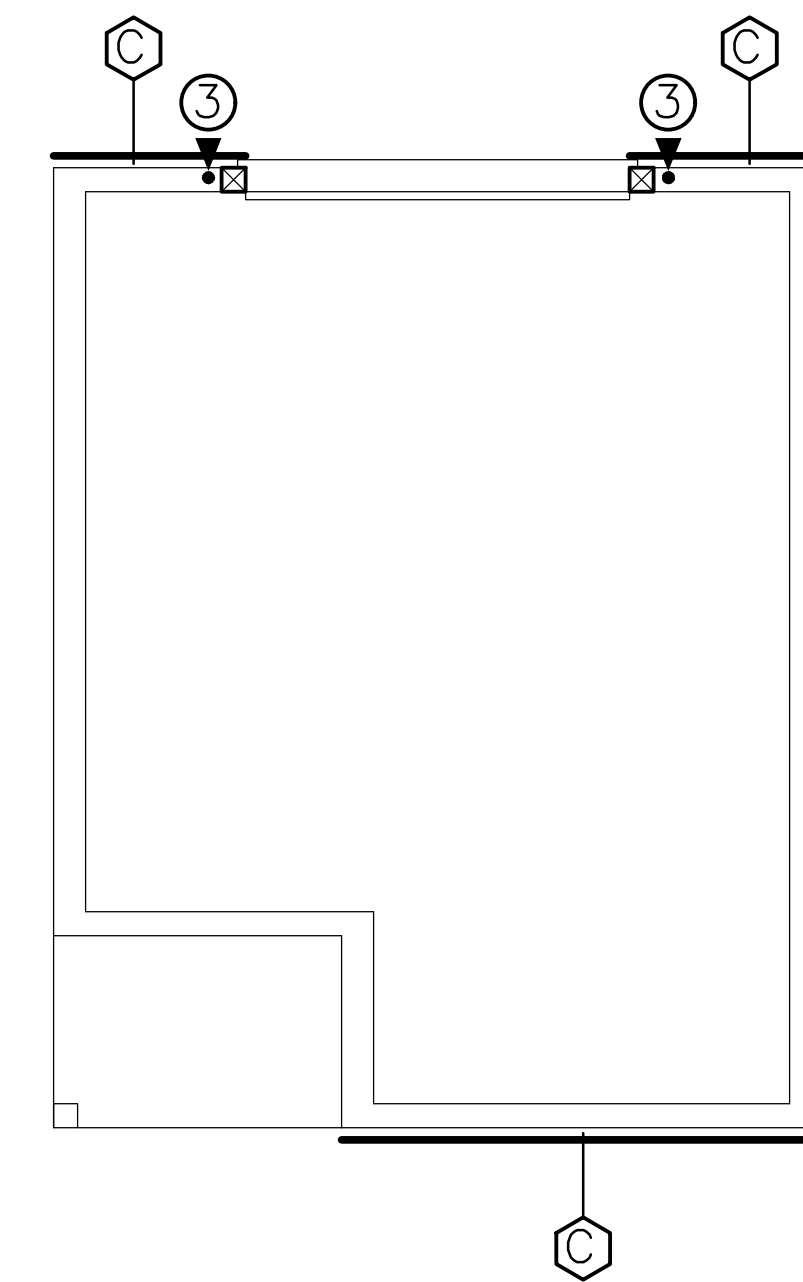
MAIN FLOOR SHEAR WALL PLAN

SCALE : 1" = 1'-0"



UPPER FLOOR SHEAR WALL PLAN

SCALE : 1" = 1'-0"



SHED SHEAR WALL PLAN

SCALE : 1" = 1'-0"

FTAO
 FORCED TRANSFER AROUND OPENING ("FTAO")
 PROVIDE HORIZ. 3x6 BLOCKING AT CORNERS
 OF DOOR OR WINDOW OPENINGS (TOP & BOTTOM)
 AND NAIL 'SIMPSON' #ST2215 TIE TO BLOCK & TRIMMER

SYM.	DESCRIPTION
1	'SIMPSON' HTT4 HOLD DOWN W/ 18-16dx2" NAILS INTO 4x6 POST OR USE 2-2x6'S. USE SSTB20 ANCHOR BOLTS
2	'SIMPSON' MST60 STRAP W/ 40-16d NAILS INTO 4x6 POST (MIN.)
3	LTT20B HOLDOWNS W/ SSTB16 A. BOLTS. USE 10-10d x 1" INTO 2-2x6'S

NOTE:
 1. DEEPEN FOOTINGS (AS REQUIRED) UNDER 'SIMPSON' A.B.
 2. STITCH NAIL (2) - 2x6'S TOGETHER W/ (2) - 16d NAILS AT 6" O.C.
 3. PROVIDE 5/8" x 12" A.B. @ 6'-0" O.C. (U.N.O.)

SYM.	DESCRIPTION
A	USE 1/2" CDX PLYWD. OR 7/16" OSB WALL SHEATHING W/ 8d NAILS @ 4" O.C. ON PANEL EDGES AND 8" O.C. IN FIELD. USE 2x SILL PLATE & 2x MEMBERS AT PANEL EDGES. PROVIDE (2)-16d NAILS AT 12" O.C. FROM SILL PLATE TO RIM JOIST
B	USE 1/2" CDX PLYWD. OR 7/16" OSB WALL SHEATHING W/ 8d NAILS AT 4" O.C. ON PANEL EDGES & 6" O.C. IN FIELD EA. SIDE OF WALL W/ 3x SILLS W/ 2-1"x5" SDS SCREWS @ 12" O.C. INTO DBL. LSL RIM JOIST W/ 3x STUDS ABUTTING PANEL EDGES.
C	USE 1/2" PLYWD. W/ 8d NAILS @ 6" O.C. ON ALL WALLS. USE 2x SILL PLATE AT PANEL EDGES

THE ENTIRE EXTERIOR OF BUILDING IS TO BE FINISHED. SIDING W/ 8d NAILS AT 6" O.C. ON PANEL EDGES & 8" O.C. IN FIELD (EXCEPT AS NOTED ABOVE)

NOTE: 1. PROVIDE REQUIRED BLOCKING ON ALL SHEAR PANELS
 2. SPLICE ALL PLYWD. SHEATHING AT RIM JOIST.

Revisions:

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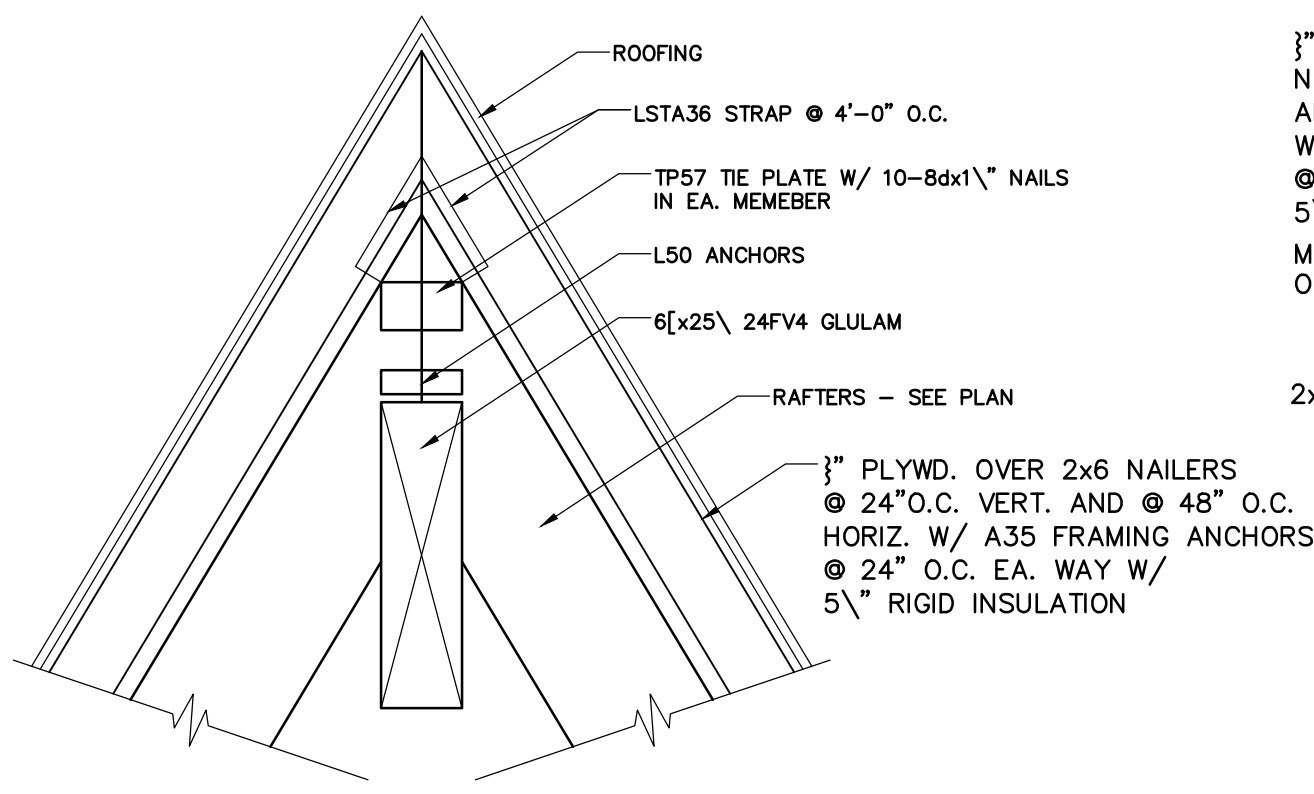
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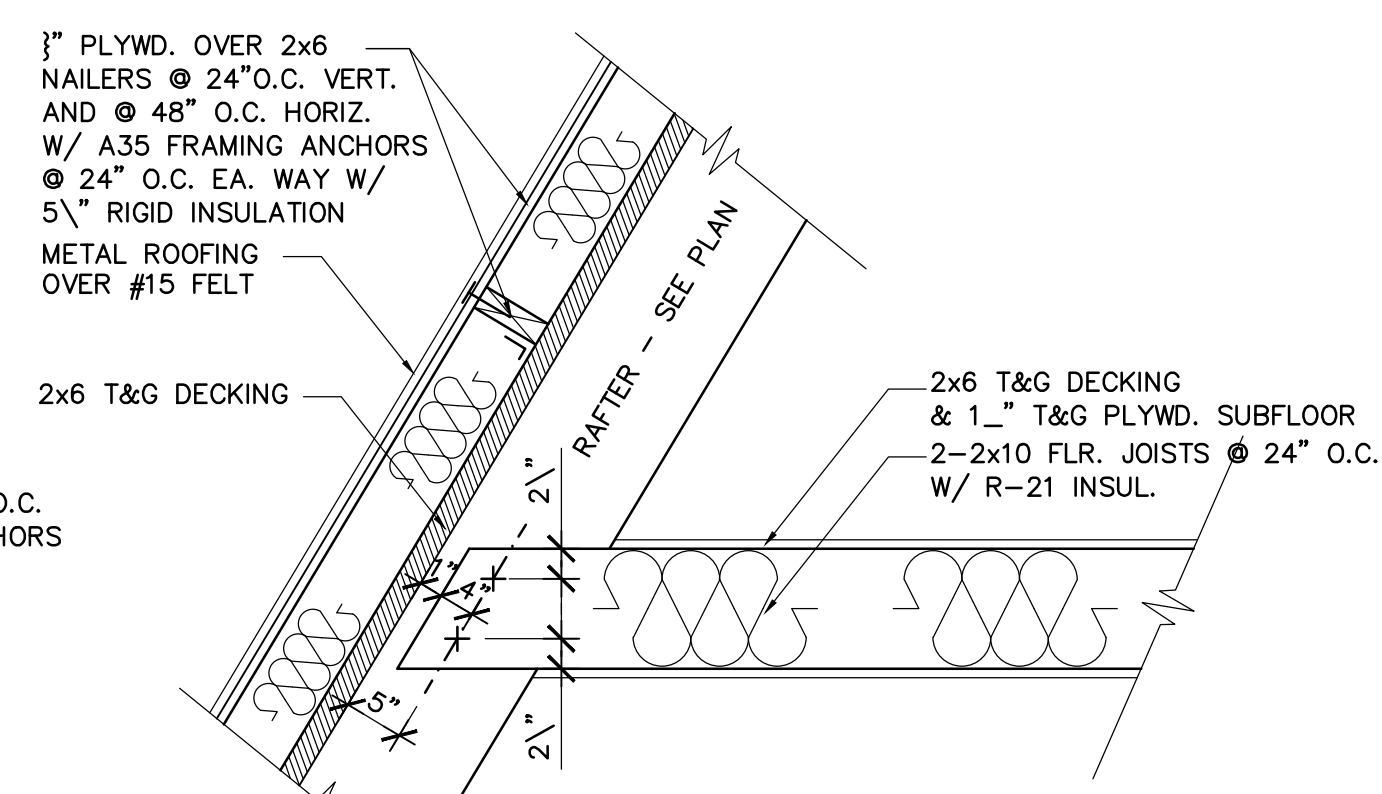
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Sheet No.
 8
 Of 10 Sheets

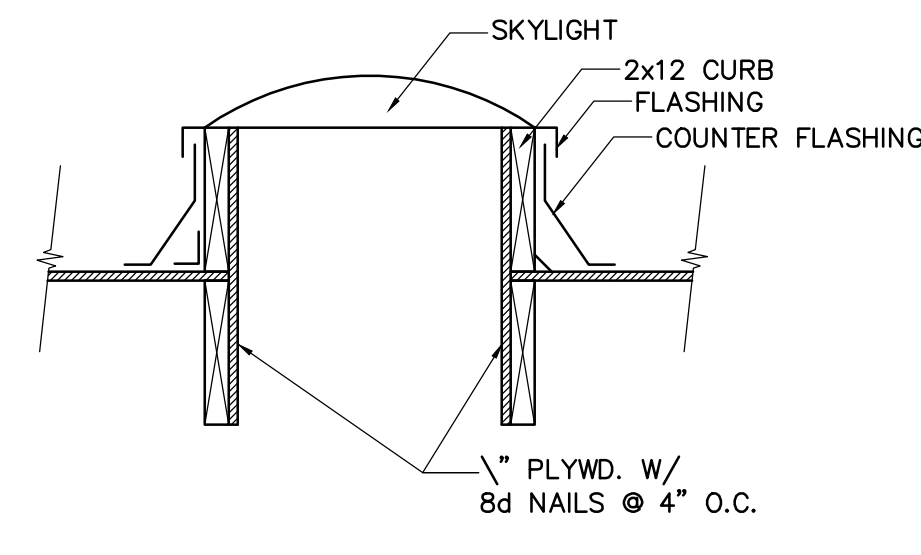
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 File No. SHEAR



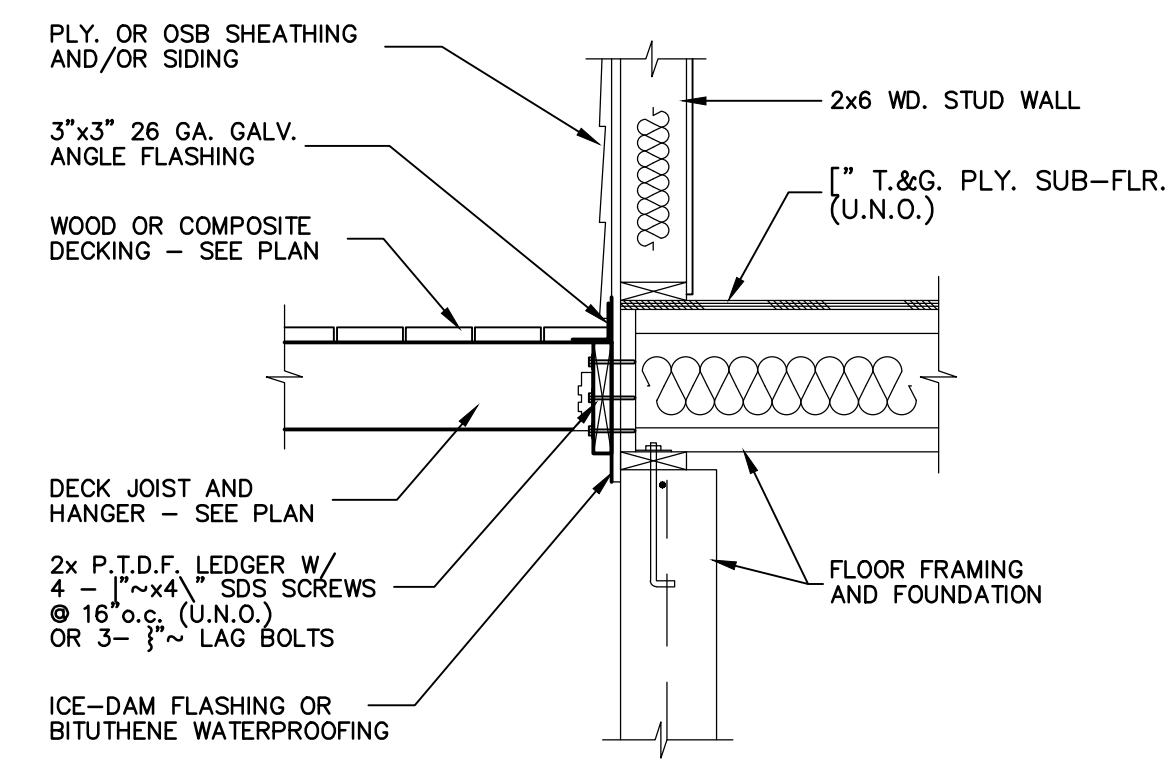
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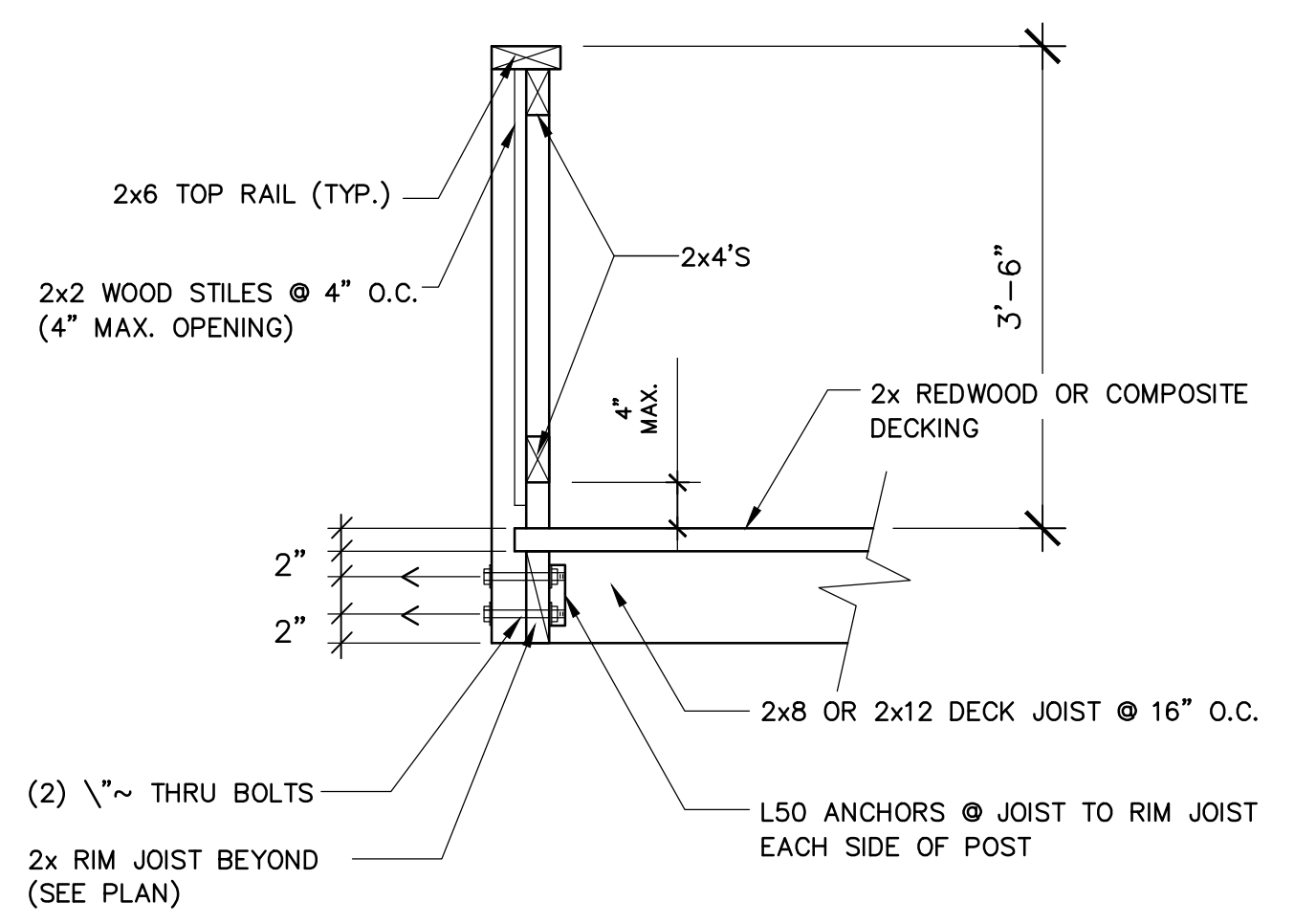
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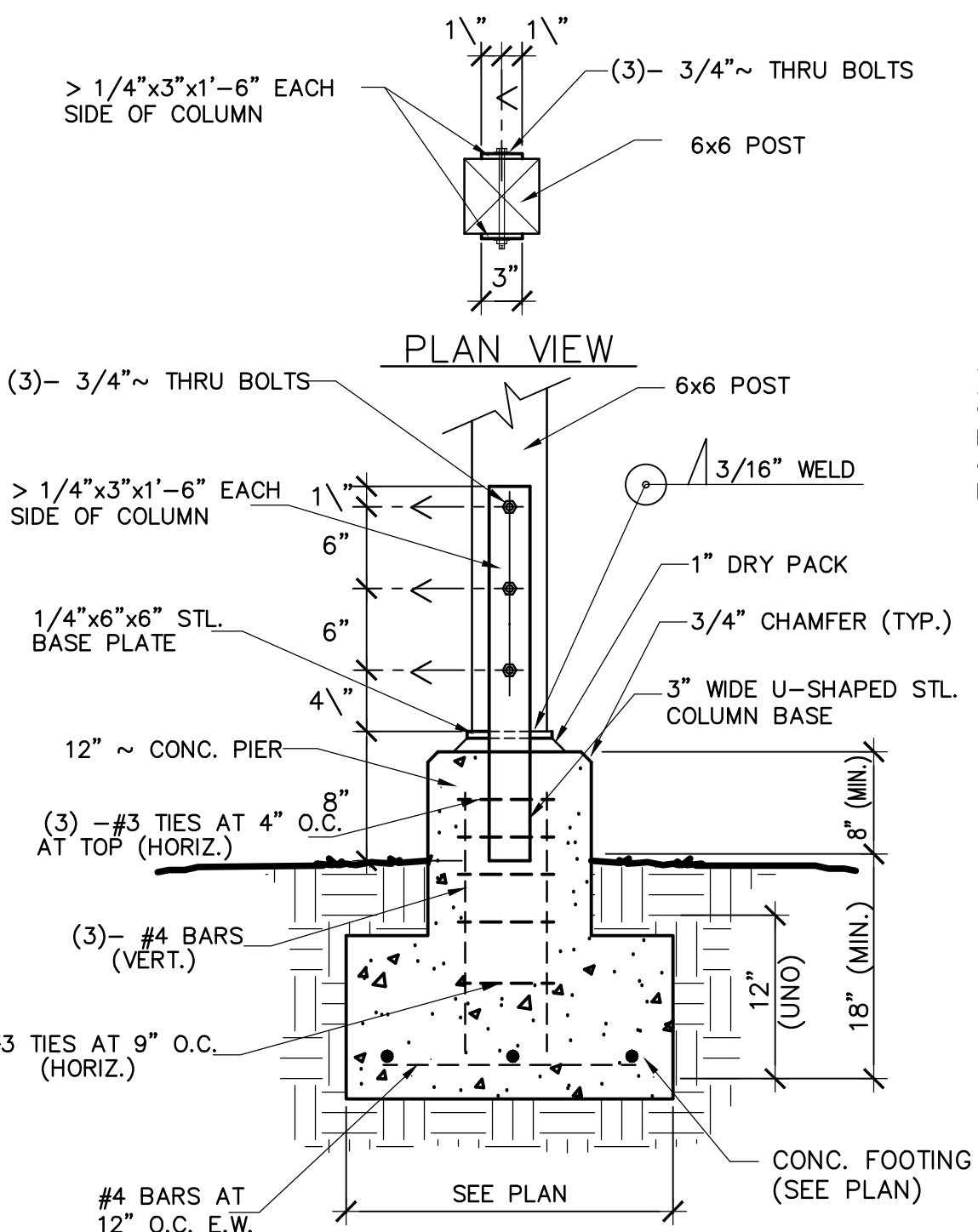
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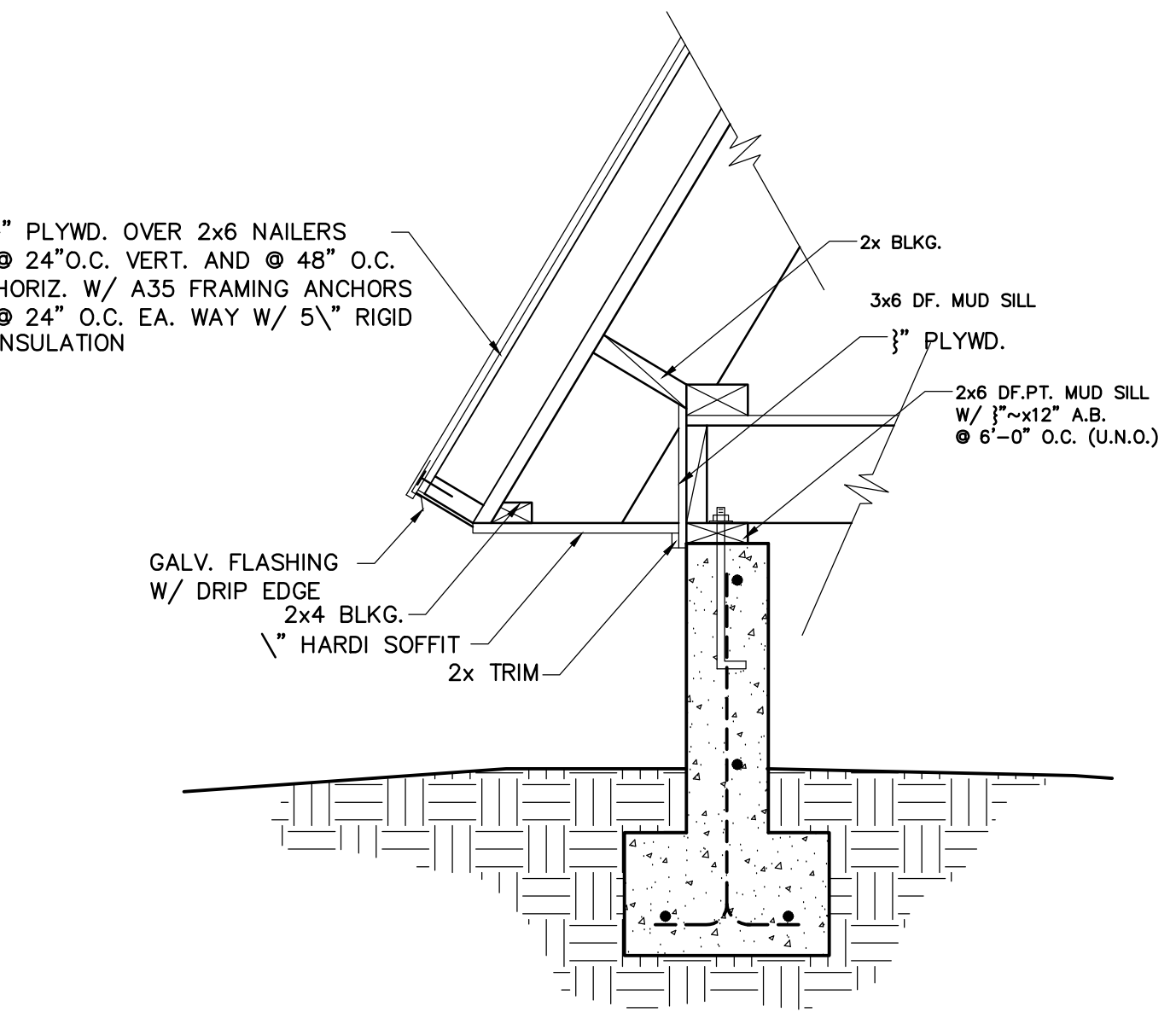
4 EXTERIOR DECK DETAIL
SCALE: 3/4"=1'-0"



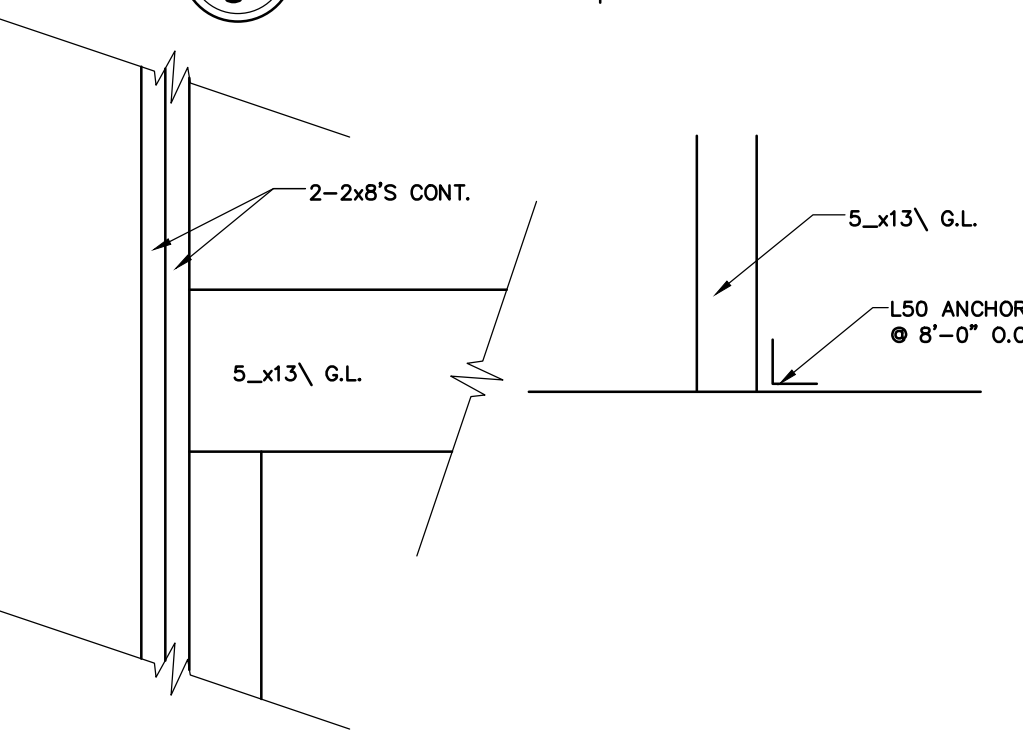
5 DECK RAILING DETAIL
SCALE: 3/4"=1'-0"



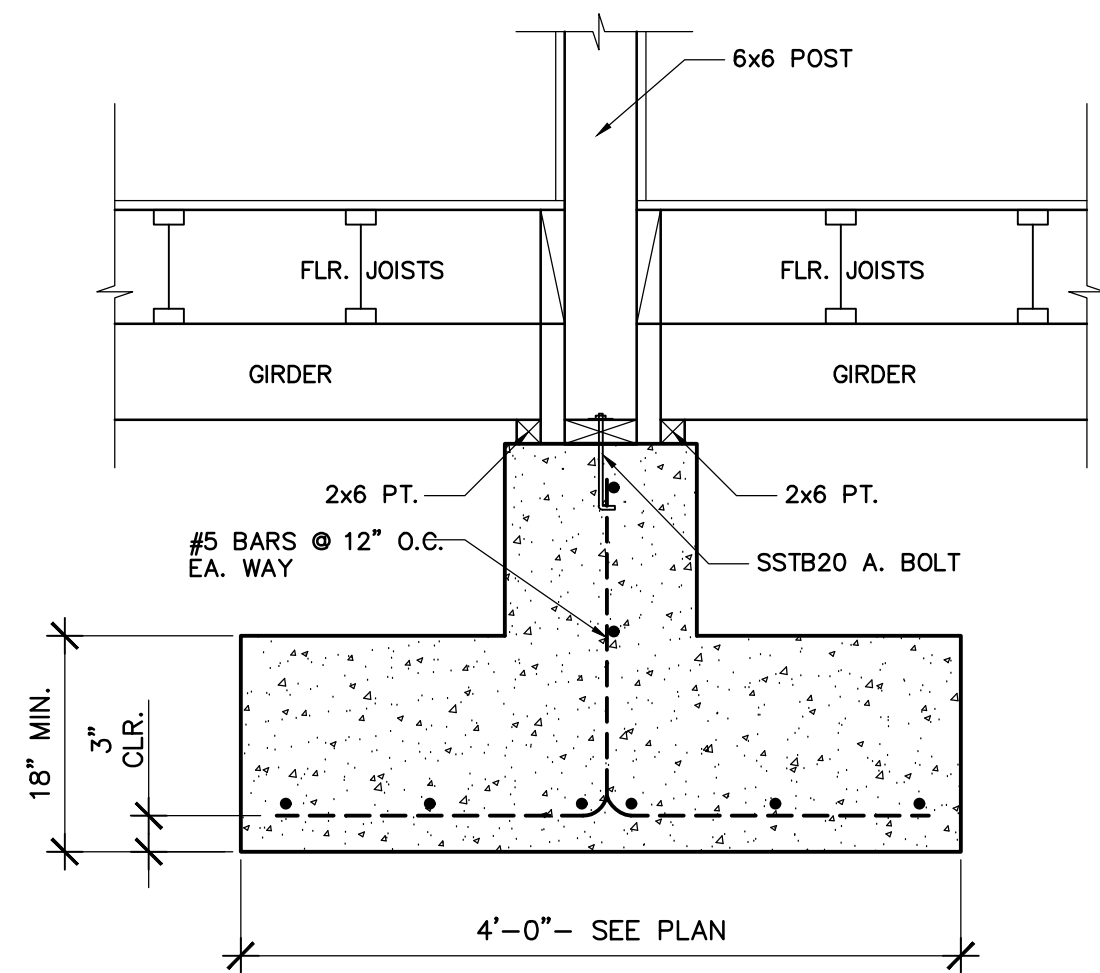
8 PIER DETAIL
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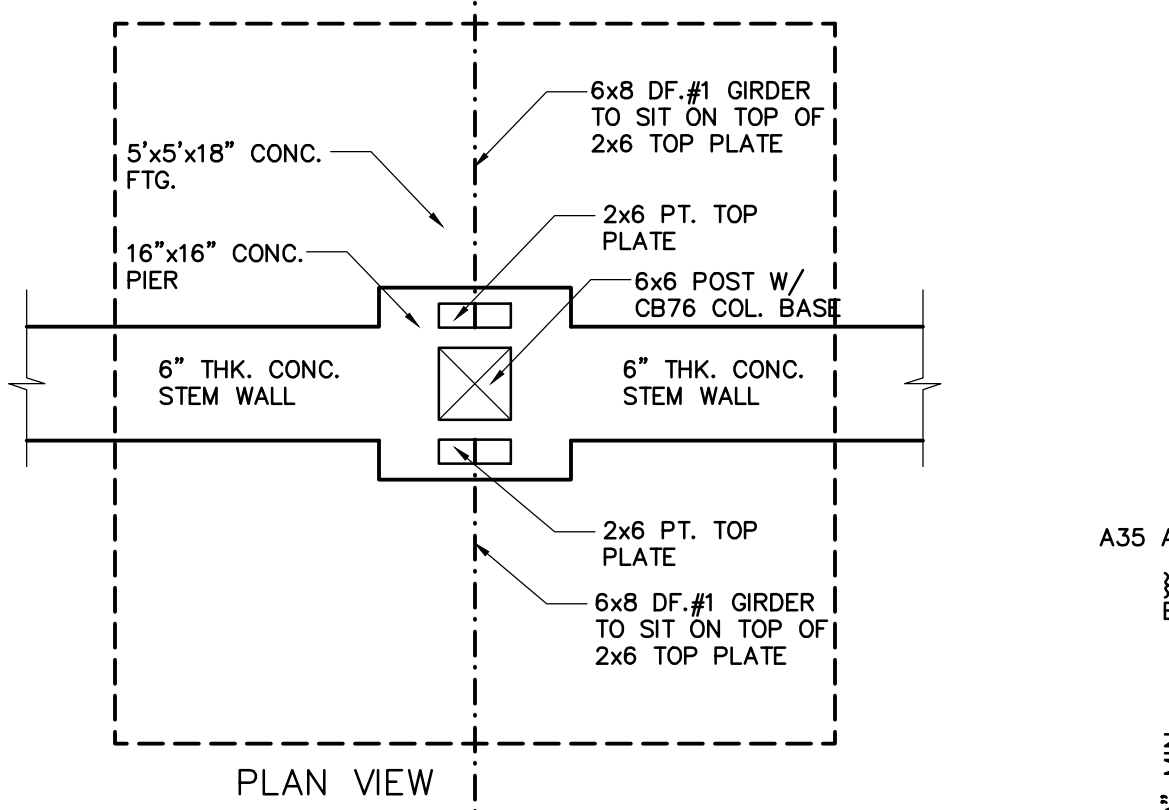
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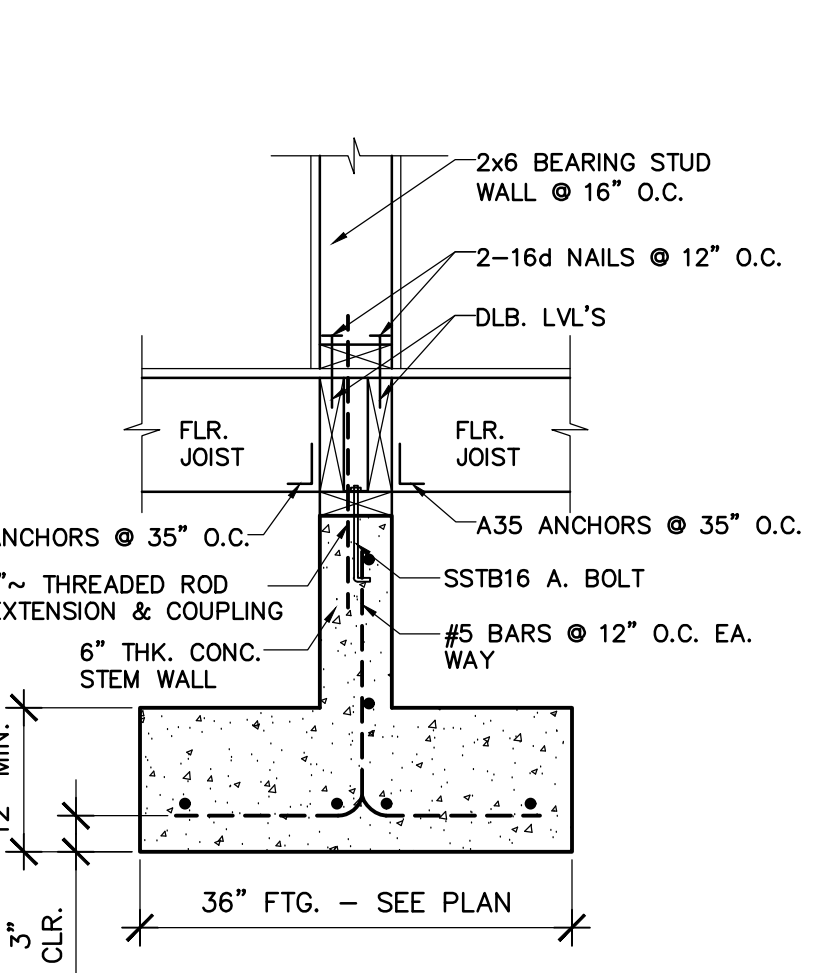
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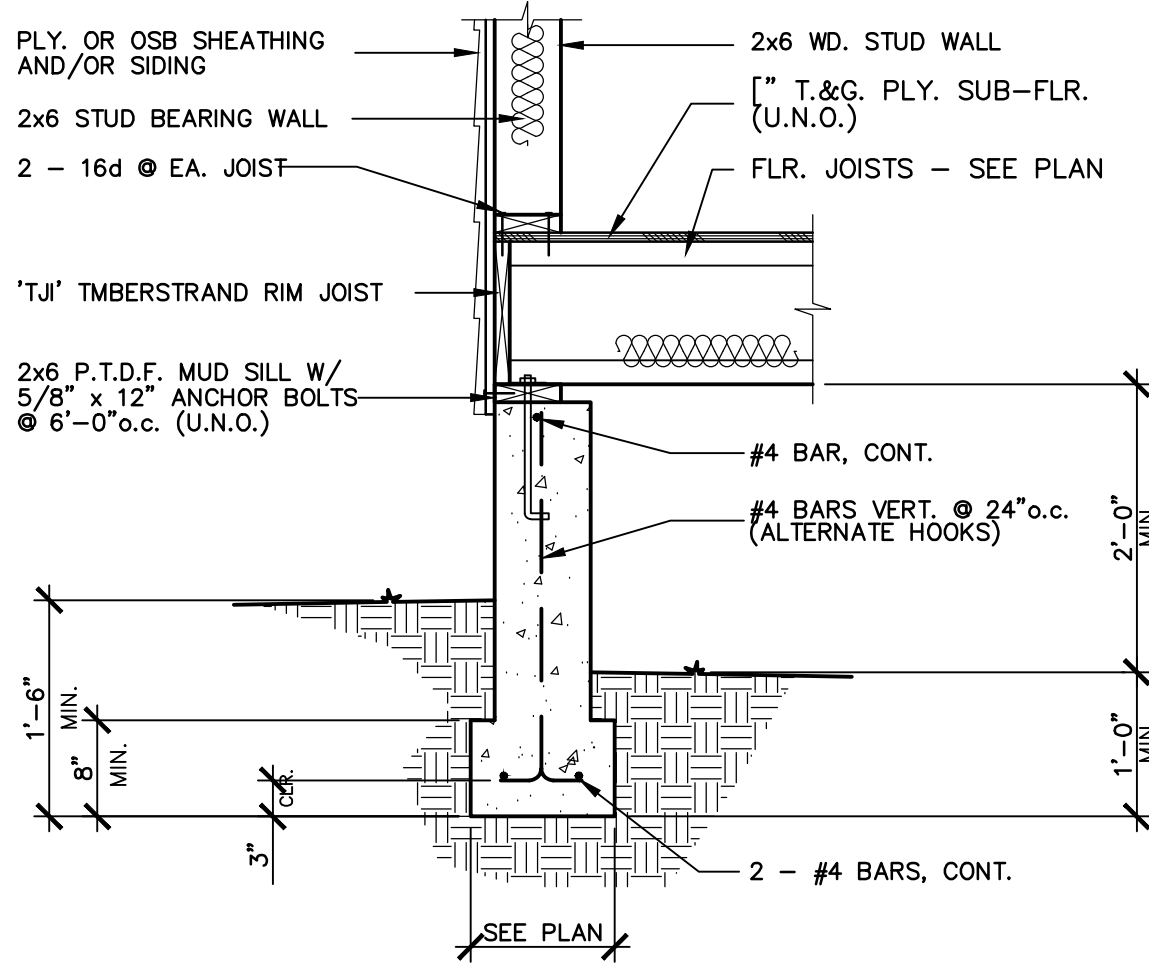
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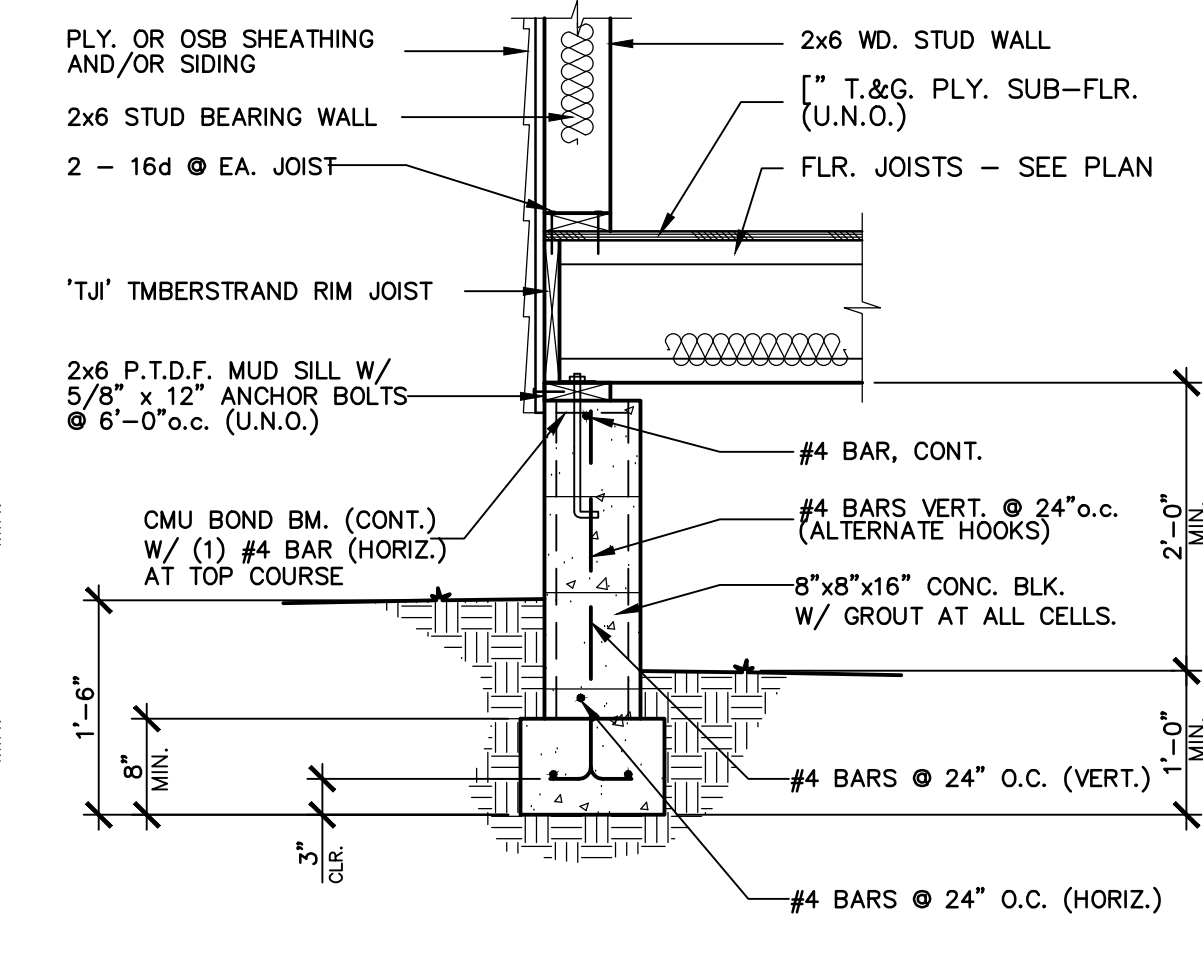
7 EXTERIOR DECK TIE DETAIL
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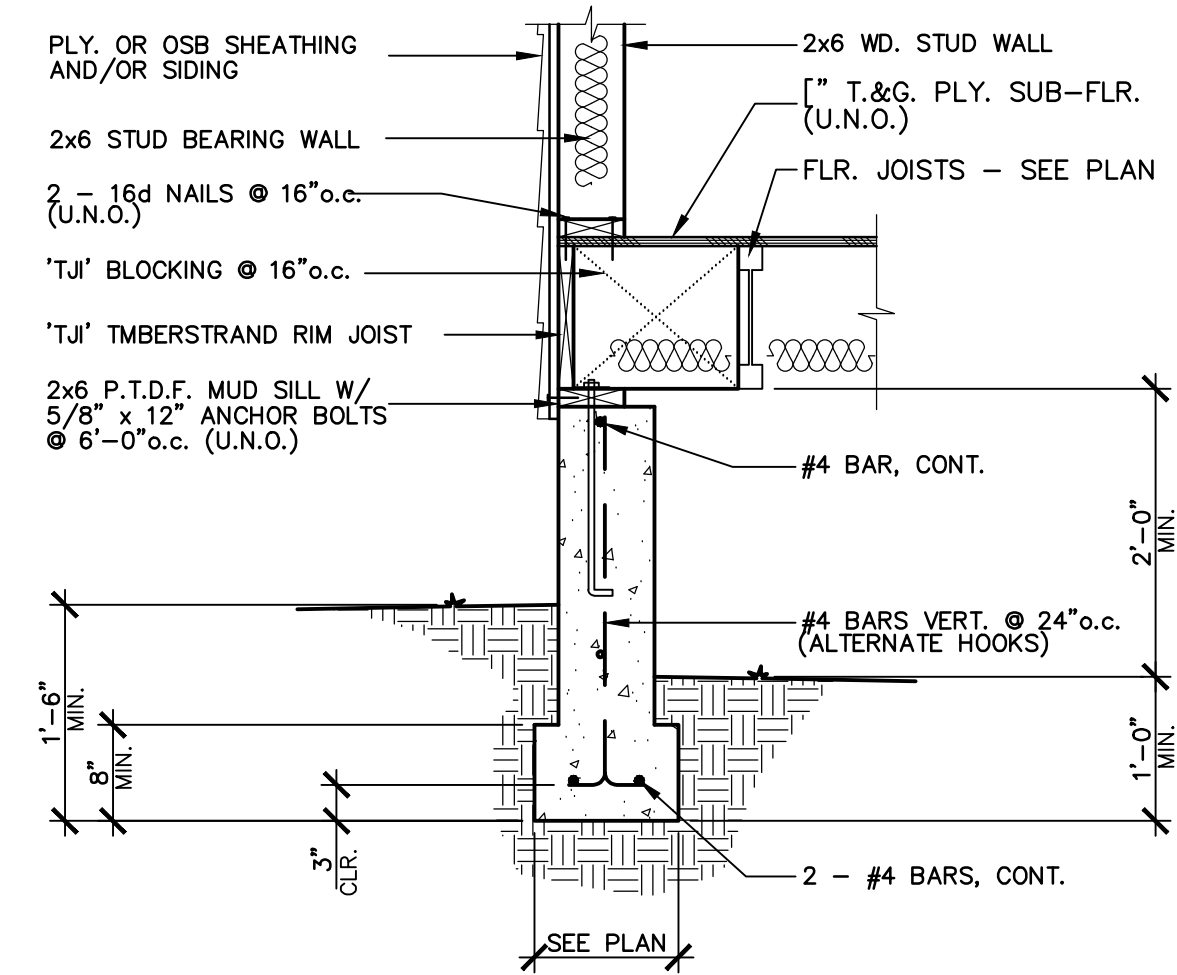
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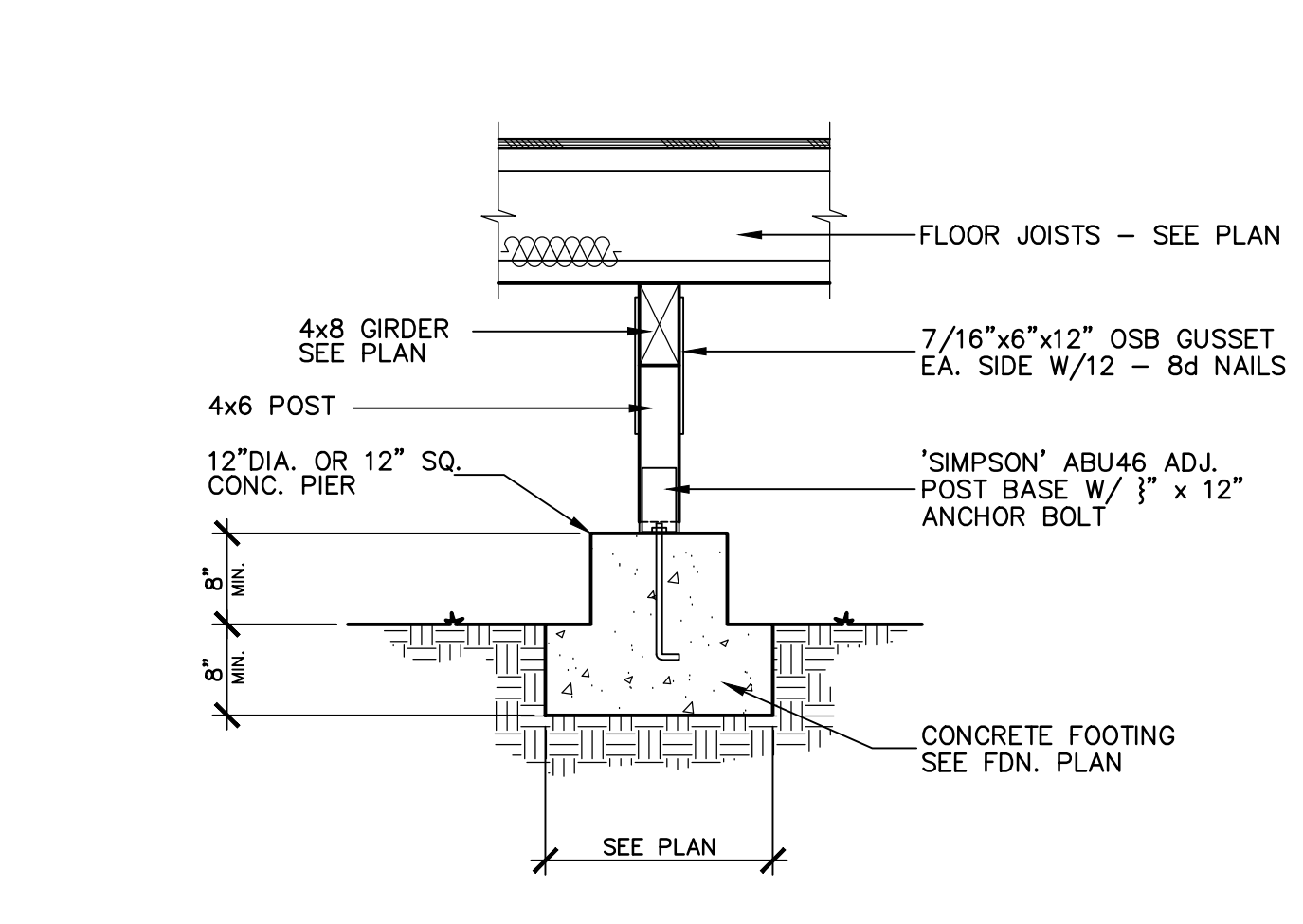
12 FRAMING/FOOTING DETAIL
SCALE: 3/4"=1'-0"



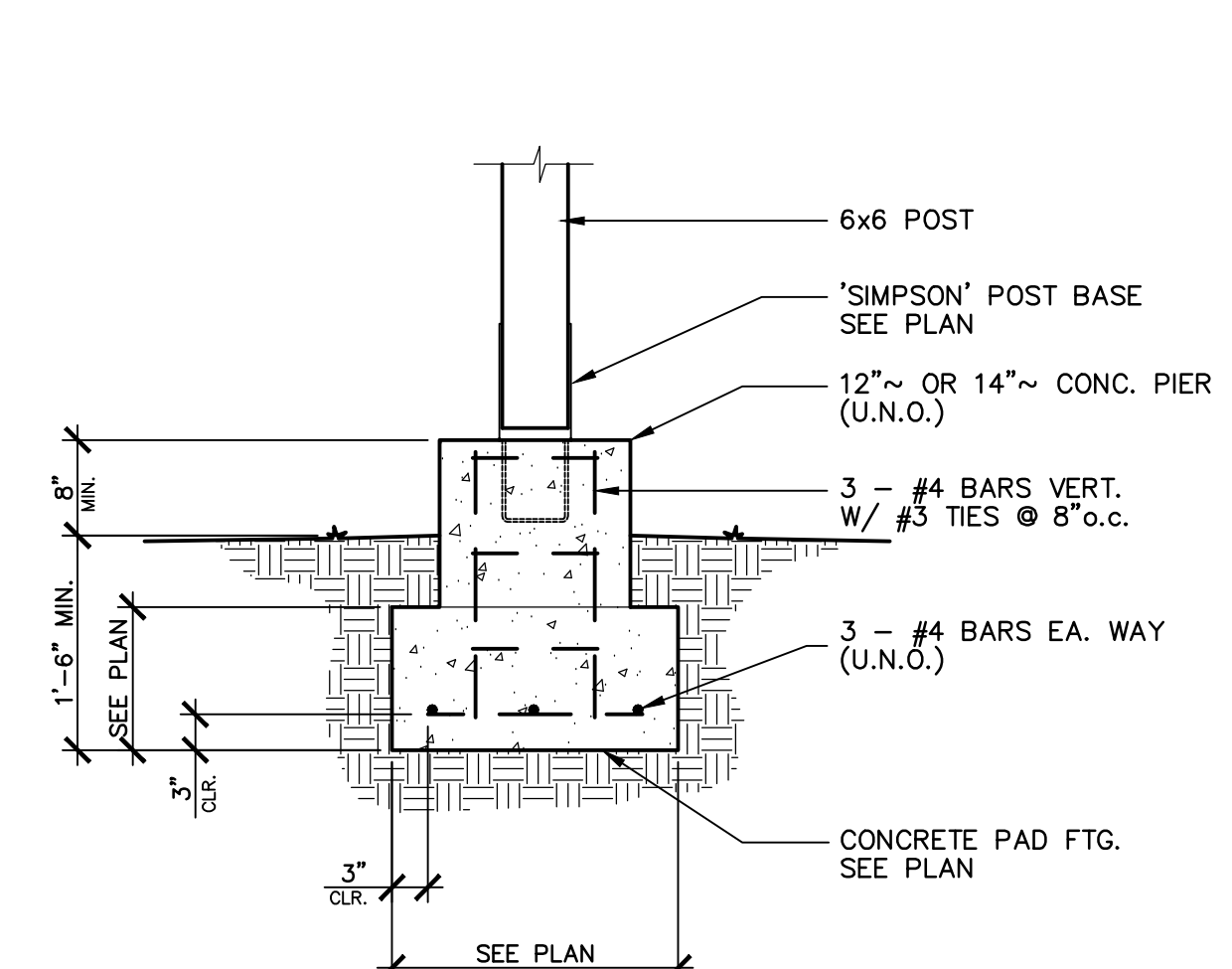
13 CMU STEMWALL DETAIL
SCALE: 3/4"=1'-0"



14 FRAMING/FOOTING DETAIL
SCALE: 3/4"=1'-0"



15 INTERIOR FOOTING DETAIL
SCALE: 3/4"=1'-0"



16 EXTERIOR FOOTING DETAIL
SCALE: 3/4"=1'-0"

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Sheet No. 9
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